

# PLANNING COMMISSION

## ATTACHMENT C

Site Plan Graphics & Parcel Map





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Owner:

INDUSTRIAL  
PROPERTY  
GROUP

10515 20th Street Southeast  
Lake Stevens, WA 98258  
tel: (314) 713-9516

Project:

Mojave Drive &  
Onyx Road

VICTORVILLE, CA

Consultants:

Civil: KIER & WRIGHT  
Structural: -  
Mechanical: -  
Plumbing: -  
Electrical: -  
Landscape: RODARTE LANDSCAPE  
Fire Protection: -  
Soils Engineer: LGC GEOTECHNICAL

Title: OVERALL SITE PLAN

Project Number: 22388

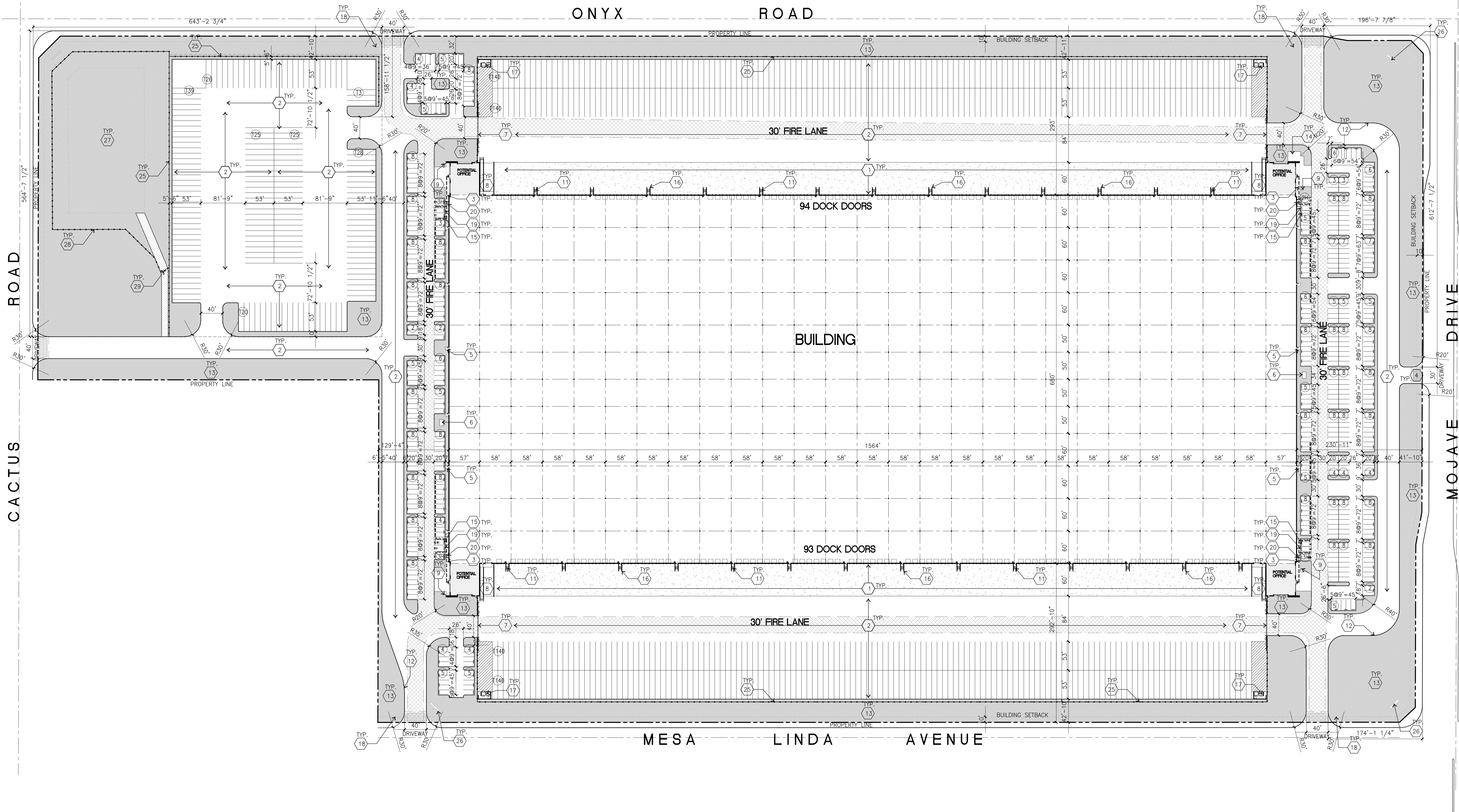
Drawn by: JJK

Date: 08/02/22

Revision:

Sheet:

DAB-A1.1



OVERALL SITE PLAN

scale: 1" = 80'-0"

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### SITE PLAN KEYNOTES

- HEAVY BROOM FINISH CONCRETE PAVEMENT.
- ASPHALT CONCRETE (AC) PAVING.
- CONCRETE WALKWAY, MEDIUM BROOM FINISH
- DRIVEWAY APRONS TO BE CONSTRUCTED
- 5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
- APPROXIMATE LOCATION OF TRANSFORMER. CONTRACTOR TO VERIFY WITH S.C.E.
- PROVIDE 8' HIGH METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- CONCRETE RAMP W/ 42" HIGH CONCRETE WALL.
- EXTERIOR BIKE RACK TYPICAL.
- 8' HIGH CONCRETE TILT-UP SCREEN WALL.
- EXTERIOR CONCRETE STAIR.
- CONCRETE CURB. SEE CIVIL DRAWINGS.
- LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING.
- OUTDOOR BREAK AREA
- PRE-CAST CONCRETE WHEEL STOP.
- CONCRETE FILLED GUARD POST 6" DIA. U.N.O. 42" H.
- TRASH ENCLOSURE PER CITY STANDARD.
- ACCESSIBLE ENTRY SIGN.
- ACCESSIBLE PARKING STALL SIGN.
- TRUNCATED DOME.
- APPROXIMATE LOCATION OF FIRE HYDRANT.
- WALL MOUNTED LIGHTING FIXTURE.
- SITE LIGHT POLE W/ CONCRETE BASE.
- 8' HIGH METAL SWING GATE W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- PROVIDE 8" WROUGHT IRON FENCING WITH CONCRETE PLASTER EVERY 100' MAX. SEE K/AD.4.3 FOR DETAILS.
- PROPOSED MONUMENT SIGN
- DETENSION BASIN. SEE CIVIL PLANS.
- 5" H WROUGHT IRON FENCING WITH CONCRETE PLASTER EVERY 100' MAX.
- 7" H X 3'-0" WIDE P.R. DOUBLE MAN GATE

### SITE PLAN GENERAL NOTES

- THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY: TBD
- IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
- SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
- THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
- SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
- CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
- SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
- CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O.
- PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
- CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
- PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
- ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
- ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED.
- LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.
- THE PROPOSED DRIVEWAY ON THE MOJAVE DRIVE FRONTAGE SHALL BE RIGHT-IN RIGHT-OUT ONLY. ALL NEW DRIVEWAYS SHALL BE AT LEAST 150'-FEET AWAY FROM INTERSECTIONS.

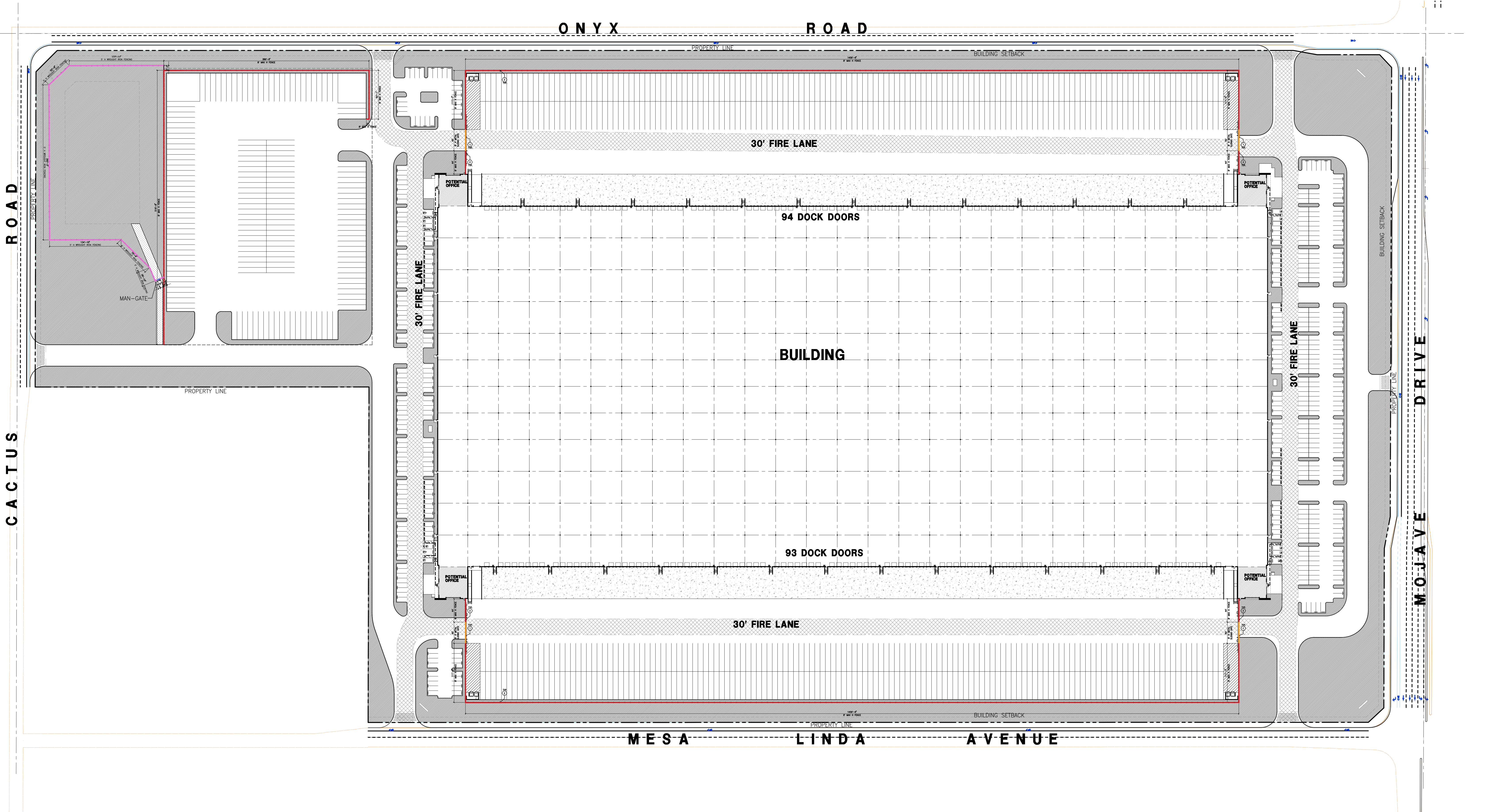
### SITE LEGEND

- CONCRETE PAVING. SEE "C" DRWS. FOR THICKNESS
- STANDARD PARKING STALL (9' X 20')
- LANDSCAPED AREA
- 26" WIDE FIRELANE
- DG PAVING
- ACCESSIBLE PARKING STALL (9' X 20') W/ 5' ACCESSIBLE AISLE
- ACCESSIBLE PARKING STALL (VAN) (12' X 20') W/ 5' ACCESSIBLE AISLE
- PATH OF TRAVEL

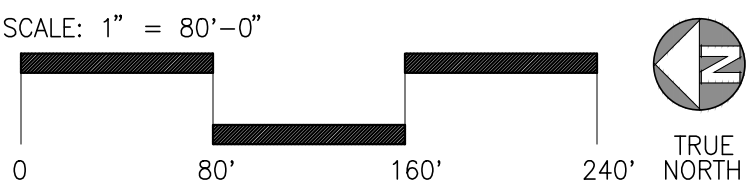
### TABULATION

<b>SITE AREA</b>	2,827,923 sf
<b>BUILDING AREA</b>	114,414 sf
Office	20,000 sf
Office - 2nd floor	20,000 sf
Warehouse	1,057,300 sf
<b>TOTAL</b>	<b>1,097,300 sf</b>
<b>BUILDING CLEAR HEIGHT</b>	42 ft
<b>SITE COVERAGE</b>	80%
Maximum Allow ed	
Actual	38.8%
<b>AUTO PARKING REQUIRED</b>	
Office: 1100 s.f.	134 stalls
Whse: 1st 40k @ 1/1,000 s.f.	40 stalls
above 40k @ 1/14,000 s.f.	255 stalls
<b>TOTAL</b>	<b>429 stalls</b>
<b>AUTO PARKING PROVIDED</b>	
Standard (9'x20')	383
Accessible Parking (STD, 9'x20')	7
Accessible Parking (Van, 12'x20')	2
FUTURE EV STD (9' x 20')	43
FUTURE EV AMBULATORY (10' x 20')	1
FUTURE EV ADA STD (9'x20')	1
FUTURE EV Van Accessible (12' x 20')	1
Open air Van Pool/EV W/O EV ready (9'x20')	9
<b>TOTAL</b>	<b>457 stalls</b>
<b>TRAILER PARKING PROVIDED</b>	
Standard (10' x 50')	726 stalls
<b>ZONING ORDINANCE FOR CITY</b>	
Zoning - Light Industrial - M-1	
<b>MAXIMUM BUILDING HEIGHT ALLOWED</b>	
Height: 55' 42' (clear ht of the bldg)	
<b>LANDSCAPE REQUIREMENT IN PARKING ZONE</b>	
Percentage - 5%	
Provided	491,071 sf
Percentage	17.4%
<b>SETBACKS</b>	
Building	Landscape
Front - 10'	8' from street
Street- Side/ Rear - 10'	10' along high w ay
Interior- Side/ Rear - None	5' along interior lot line and building
From R district - 30'	





FENCE AND GATE PLAN A



SITE PLAN KEYNOTES

- 1

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- 2

ASPHALT CONCRETE (AC) PAVING.
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CONCRETE WALKWAY, MEDIUM BROOM FINISH
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DRIVEWAY APRONS TO BE CONSTRUCTED
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APPROXIMATE LOCATION OF TRANSFORMER. CONTRACTOR TO VERIFY WITH S.C.E.
- 7

PROVIDE 8" HIGH METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 8

CONCRETE RAMP W/ 42" HIGH CONCRETE WALL.
- 9

EXTERIOR BIKE RACK TYPICAL.
- 10

8" HIGH CONCRETE TILT-UP SCREEN WALL.
- 11

EXTERIOR CONCRETE STAIR.
- 12

CONCRETE CURB. SEE CIVIL DRAWINGS.
- 13

LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING.
- 14

OUTDOOR BREAK AREA
- 15

PRE-CAST CONCRETE WHEEL STOP.
- 16

CONCRETE FILLED GUARD POST 6" DIA. U.N.O. 42" H.
- 17

TRASH ENCLOSURE PER CITY STANDARD.
- 18

ACCESSIBLE ENTRY SIGN.
- 19

ACCESSIBLE PARKING STALL SIGN.
- 20

TRUNCATED DOME.
- 21

APPROXIMATE LOCATION OF FIRE HYDRANT.
- 22

WALL MOUNTED LIGHTING FIXTURE.
- 23

SITE LIGHT POLE W/ CONCRETE BASE.
- 24

8" HIGH METAL SWING GATE W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
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PROVIDE 8" WROUGHT IRON FENCING WITH CONCRETE PILASTER EVERY 100' MAX. SEE K/AD.4.3 FOR DETAILS.
- 26

PROPOSED MONUMENT SIGN
- 27

DETENSION BASIN. SEE CIVIL PLANS.
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5' H WROUGHT IRON FENCING WITH CONCRETE PILASTER EVERY 100' MAX.
- 29

7' H X 3'-0" WIDE P.R. DOUBLE MAN GATE



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Mechanical: -  
Plumbing: -  
Electrical: -  
Landscape: RODARTE LANDSCAPE  
Fire Protection: -  
Soils Engineer: LGC GEOTECHNICAL

Title: FENCE AND GATE PLAN

Project Number: 22388

Drawn by: JK

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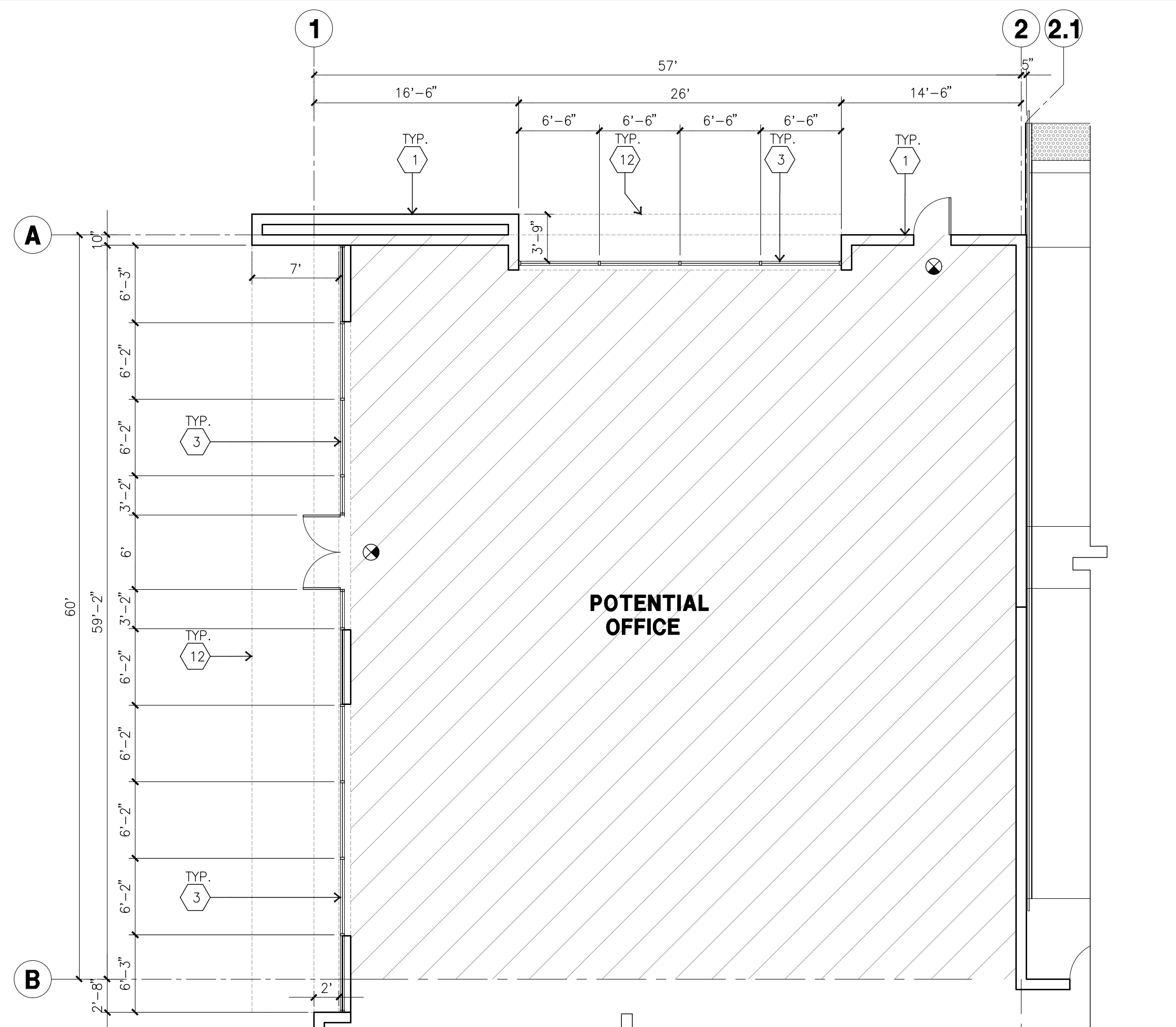
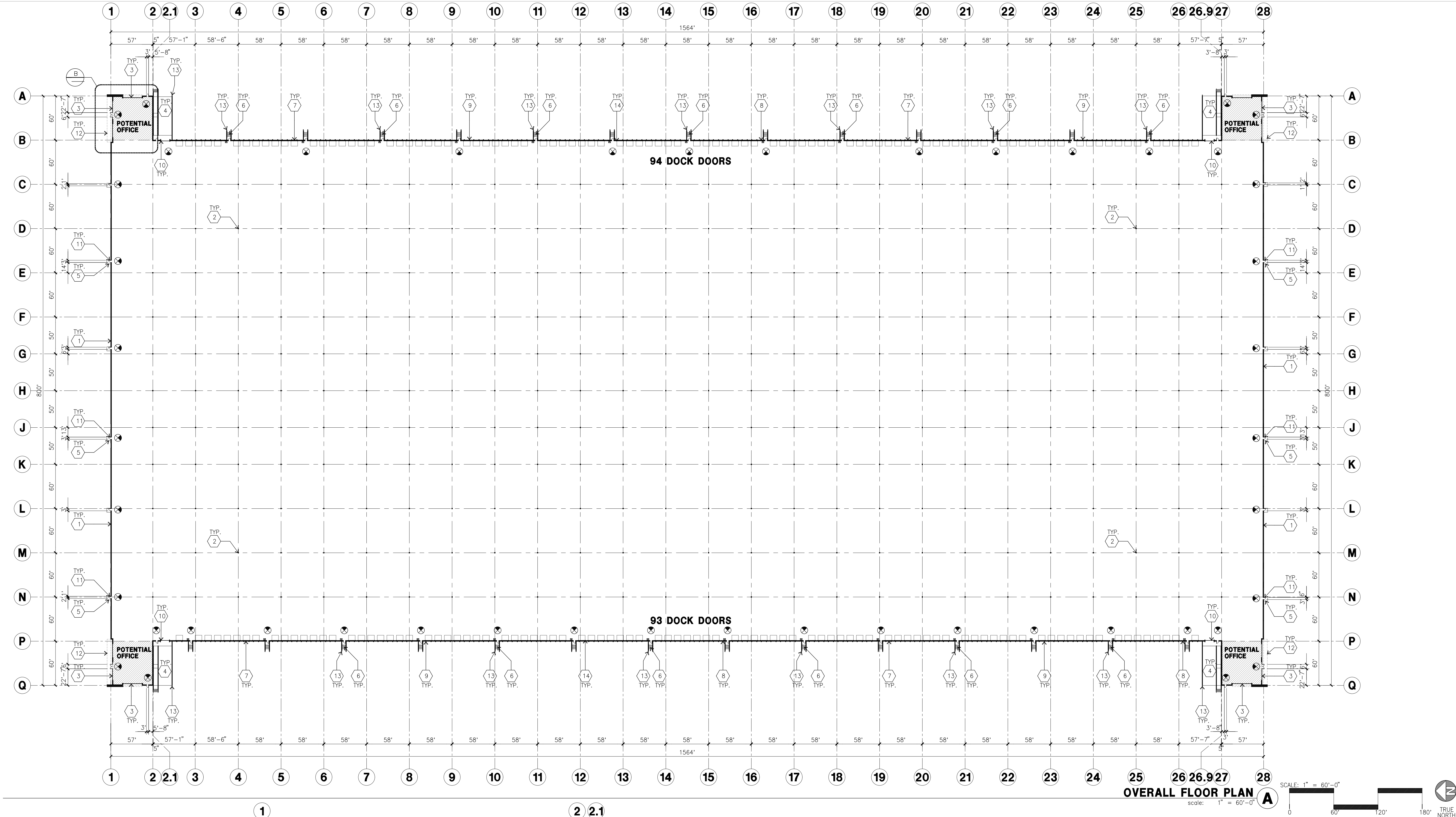
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#### FLOOR PLAN KEYNOTES

1. CONCRETE TILT-UP PANEL.
2. STRUCTURAL STEEL COLUMN.
3. TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
4. CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
5. 5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD. TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
6. EXTERIOR CONCRETE STAIR W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL.
7. 9' X 10' TRUCK DOOR, SECTIONAL O.H., STANDARD GRADE.
8. 4' X 8' LOUVERED OPENING FOR VENTILATION.
9. DOCK DOOR BUMPER TYPICAL.
10. 12' X 14' DRIVE THRU. SECTIONAL O.H., STANDARD GRADE.
11. 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR.
12. SOFFIT LINE ABOVE
13. CONC. FILLED GUARD POST. 6" DIA. U.N.O.. 42"H.
14. Z GUARD

#### FLOOR PLAN GENERAL NOTES

1. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT APPROXIMATELY 125' O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
5. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOR EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
6. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRID LINE, OR FACE OF STUD U.N.O.
7. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
8. NOT USED
9. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
10. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
11. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
12. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
13. NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 11B-703.5
14. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW, SEE SHEET DAB-A4.2 OFFICE SECTION.
15. NOT USED
16. PROVIDE FIRE EXTINGUISHERS PER FIRE MARSHALL

#### FLOOR SLAB & POUR STRIPS REQ.

THESE NOTES ARE VERY MIN. REQUIREMENT.

1. FLOOR COMPACTION - 95%
2. TRENCH COMPACTION - 90%
3. BUILDING FLOOR SLAB:
4. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-IR-96
5. CONCRETE SLAB TO HAVE STEEL FLOAT HARD TROWEL BURNISHED FINISH.
6. CONTRACTOR TO CURE SLAB TO BE WET CURING USING BURLINE FOR 7 DAYS MIN.
7. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DIAPERED.
8. NO CRANES, CONCRETE TRUCKS, OR ANYTHING HEAVIER WILL BE PLACED ON THE SLAB.
9. SLAB TO BE FF50 FL35 MEASURED WITHIN 24 HOURS.
10. NO FLY ASH IN THE CONCRETE
11. WHERE INDICATED, PROVIDE VAPOR BARRIER (15ML STECO OR EQUIV.) UNDER THE CONCRETE SLAB. PROVIDE SAND PER SOILS ENGINEER OR MANUFACTURER'S RECOMMENDATION.
12. SEAL CONCRETE SLAB W/ "LIPIDOLITH" SEALER

CONCRETE SLAB IN FUTURE OFFICE AREAS, WHERE SAND OVER VIQUEEN ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURLINE, CURING COMPOUND, OR RELEASE AGENTS. CONTROL/CONSTRUCTION JOINTS SHALL NOT BE FILLED WITH MM-80 JOINT FILLER IN FUTURE OFFICE AREAS.





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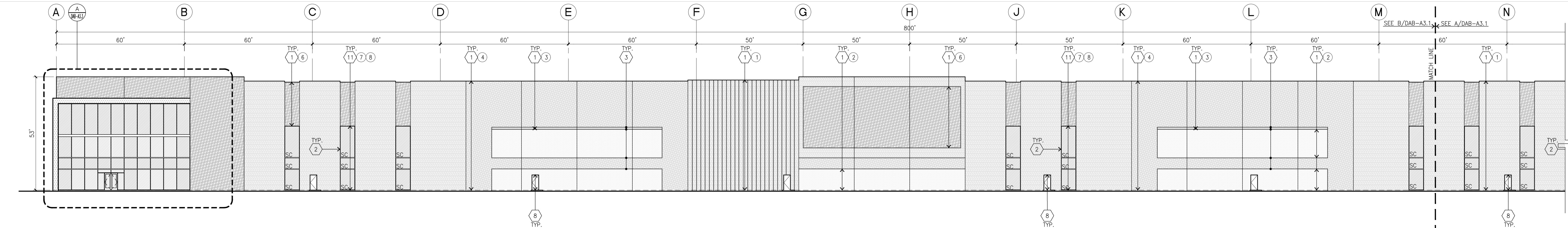
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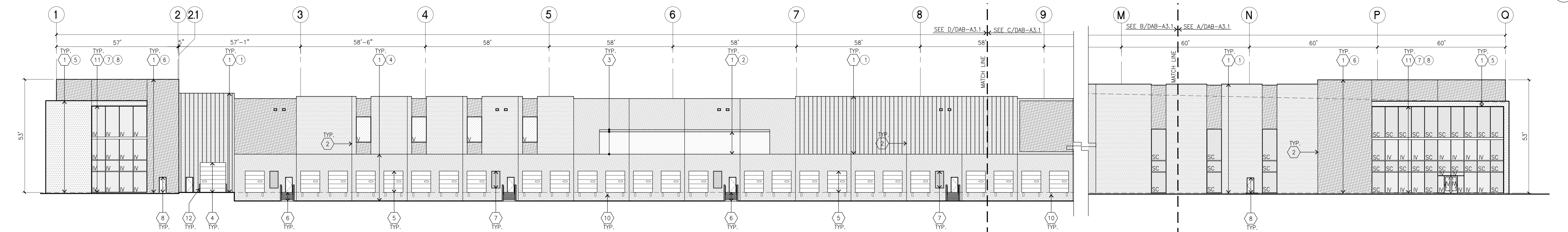
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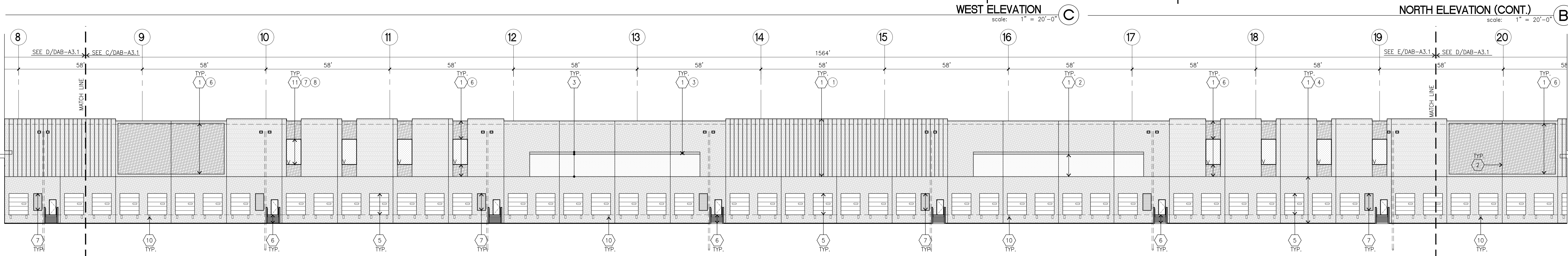
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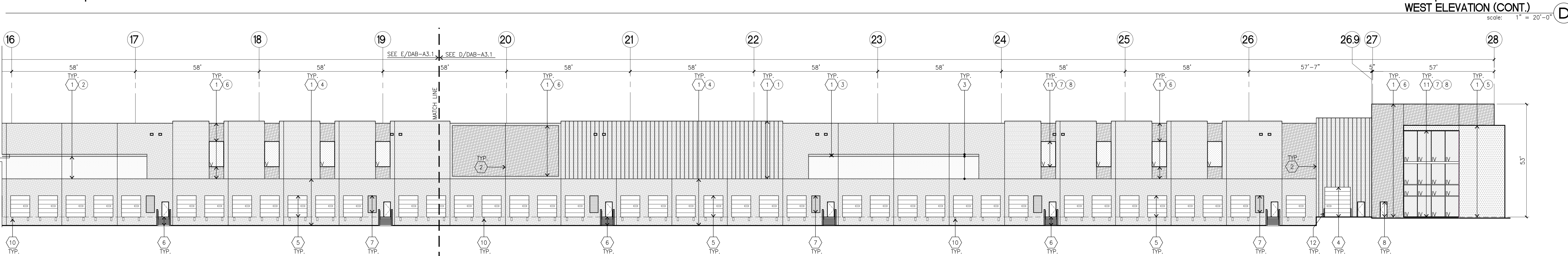
NORTH ELEVATION  
scale: 1" = 20'-0"



WEST ELEVATION  
scale: 1" = 20'-0"



NORTH ELEVATION (CONT.)  
scale: 1" = 20'-0"



WEST ELEVATION (CONT.)  
scale: 1" = 20'-0"

### ELEVATION KEYNOTES

1. CONCRETE TILT-UP PANEL.
2. PANEL JOINT.
3. PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O.
4. 12' X 14' OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
5. 9' X 10' OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
6. CONCRETE STAIR, LANDING AND GUARDRAIL W/ METAL PIPE HANDRAIL. PROVIDE NON SKID NOSING TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 3" WIDE WARNING STRIPE INTEGRAL TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
7. 4' X 8' METAL LOUVER OPENING FOR VENTILATION. PAINT TO MATCH BUILDING COLOR.
8. HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPING ALL AROUND DOOR.
9. EXTERIOR DOWN SPOUTS W/ 2 OVERFLOW SCUPPERS.
10. DOCK DOOR BUMPER TYPICAL.
11. ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS. SIDE LITES ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.
12. CONC. FILLED GUARD POST. 6" DIA. U.N.O.. 42"H.
13. METAL CANOPY.

### ELEVATION GENERAL NOTES

1. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
2. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
3. T.O.P. EL. = TOP OF PARAPET ELEVATION.
4. F.F. = FINISH FLOOR ELEVATION.
5. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND UNTELS SHALL BE DESIGNED TO RESIST - MPH. EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
6. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
7. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
8. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
9. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
10. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.

### ELEVATION COLOR LEGEND/SCHED.

1. PAINT. COLOR : SW 7631 CITY LOFT
2. PAINT. COLOR : SW 7638 JOGGING PATH
3. PAINT. COLOR : SW 9171 FELTED WOOL
4. PAINT. COLOR : SW 9172 STUDIO CLAY
5. PAINT. COLOR : SW 7055 ENDURING BRONZE
6. PAINT. COLOR : SW 7701 CAVERN CLAY
7. MULLIONS COLOR : CLEAR ANODIZED
8. GLAZING COLOR : BLUE REFLECTIVE GLAZING

### GLAZING LEGEND

NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.

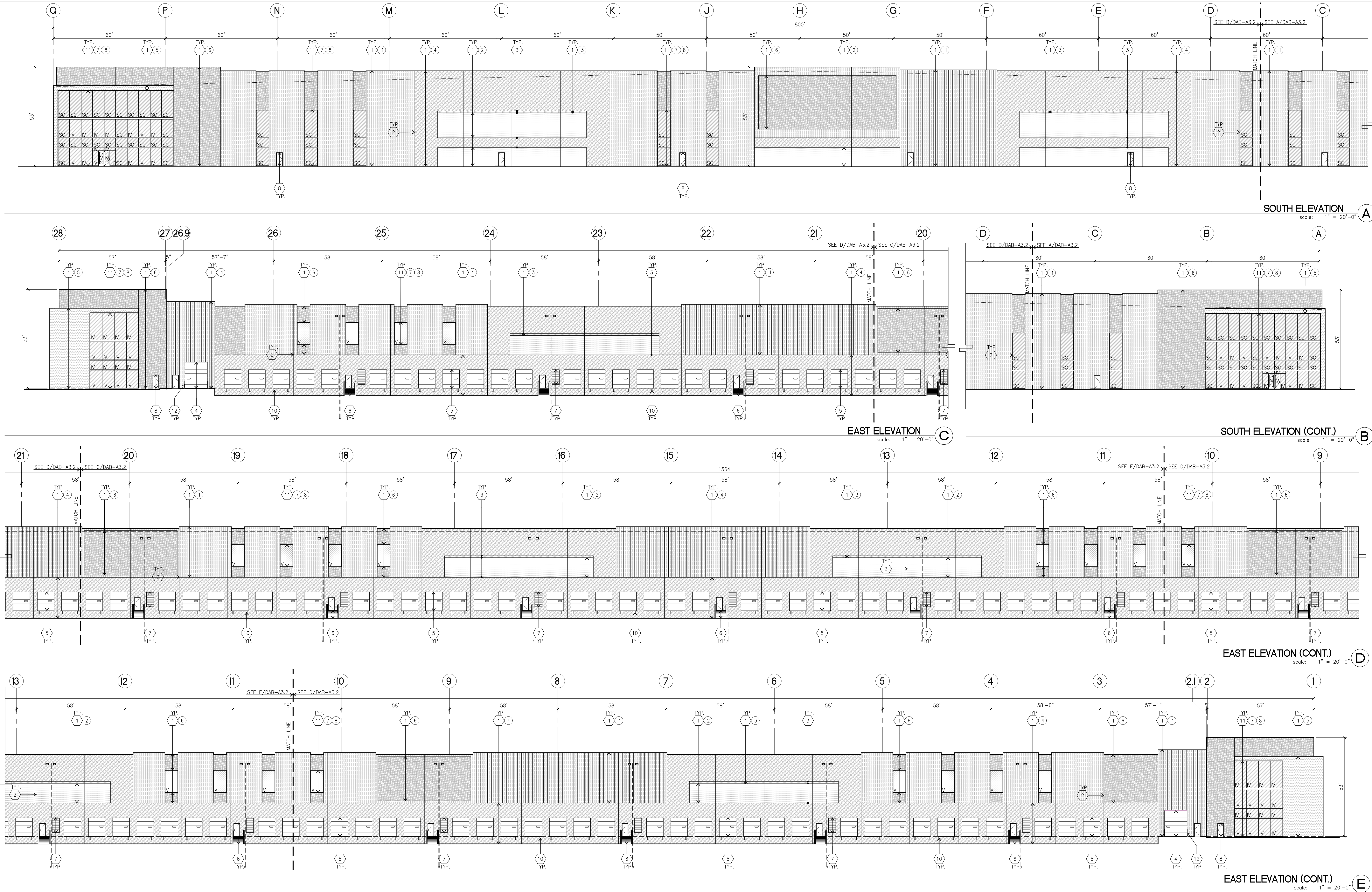
- |    |                          |    |                                     |
|----|--------------------------|----|-------------------------------------|
| IV | INSULATED VISION GLASS   | SC | SPANDREL GLASS WITH CONCRETE BEHIND |
| V  | SINGLE LITE VISION GLASS |    |                                     |

IV : INSULATED VISION GLASS  
1/4" VISTACOL PACIFICA + 1/4" SOLARBAN 60 CLEAR  
1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES  
U: 0.27 SHGC: 0.21 VLT: 26%  
MINIMUM VT TO BE 0.42 PER 2016 CEC TABLE 140.3-B

SC : SPANDREL WITH CONCRETE BEHIND  
1/4" VISTACOL PACIFICA WITH WARM GRAY OPACICOAT PAINTED ON REFLECTIVE.  
INSTALLED ON CONCRETE.

V : VISION GLASS  
1/4" VISTACOL PACIFICA  
MULLIONS : ANODIZED CLEAR.





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5. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND UNTELS SHALL BE DESIGNED TO RESIST - MPH, EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
6. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
7. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
8. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
9. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
10. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON

ELEVATION COLOR LEGEND/SCHED.

1. PAINT. COLOR : SW 7631 CITY LOFT
2. PAINT. COLOR : SW 7638 JOGGING PATH
3. PAINT. COLOR : SW 9171 FELTED WOOL
4. PAINT. COLOR : SW 9172 STUDIO CLAY
5. PAINT. COLOR : SW 7055 ENDURING BRONZE
6. PAINT. COLOR : SW 7701 CAVERN CLAY
7. MULLIONS COLOR : CLEAR ANODIZED
8. GLAZING COLOR : BLUE REFLECTIVE GLAZING

GLAZING LEGEND

NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.

IV	INSULATED VISION GLASS	SC	SPANDREL GLASS WITH CONCRETE BEHIND
V	SINGLE LITE VISION GLASS		

IV : INSULATED VISION GLASS  
1/4" VISTACOL PACIFICA + 1/4" SOLARBAN 60 CLEAR  
1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES  
U: 0.27 SHGC: 0.21 VLT: 26%  
MINIMUM VT TO BE 0.42 PER 2016 CEC TABLE 140.3-B

SC : SPANDREL WITH CONCRETE BEHIND  
1/4" VISTACOL PACIFICA WITH WARM GRAY OPACICOAT PAINTED ON REFLECTIVE. INSTALLED ON CONCRETE.

V : VISION GLASS  
1/4" VISTACOL PACIFICA

MULLIONS : ANODIZED CLEAR.



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Owner:

INDUSTRIAL  
PROPERTY  
GROUP

10515 20th Street Southeast  
Lake Stevens, WA 98258  
tel: (314) 713-9516

Project:

Mojave Drive &  
Onyx Road

VICTORVILLE, CA

Consultants:

Civil: KIER & WRIGHT  
Structural: -  
Mechanical: -  
Plumbing: -  
Electrical: -  
Landscape: RODARTE LANDSCAPE  
Fire Protection: -  
Soils Engineer: LGC GEOTECHNICAL

Title: ELEVATION

Project Number: 22388

Drawn by: JK

Date: 08/02/22

Revision:

Sheet:

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Landscape: RODARTE LANDSCAPE  
Fire Protection: -  
Soils Engineer: LGC GEOTECHNICAL



Title: ELEVATION

Project Number: 22388  
Drawn by: JK  
Date: 08/02/22  
Revision:

Sheet:

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### ELEVATION KEYNOTES

- 1 CONCRETE TILT-UP PANEL.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR, U.N.O.
- 4 12' X 14' OVERHEAD DOOR Ø DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 5 9' X 10' OVERHEAD DOOR Ø DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 6 CONCRETE STAR, LANDING AND GUARDRAIL W/ METAL PIPE HANDRAIL. PROVIDE NON SKID NOSING TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 3" WIDE WARNING STRIPE INTEGRAL TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- 7 4' X 8' METAL LOUVER OPENING FOR VENTILATION. PAINT TO MATCH BUILDING COLOR.
- 8 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPING ALL AROUND DOOR.
- 9 EXTERIOR DOWN SPOUTS W/ 2 OVERFLOW SCUPPERS.
- 10 DOCK DOOR BUMPER TYPICAL.
- 11 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS. SIDE LITES ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.
- 12 CONC. FILLED GUARD POST. 6" DIA. U.N.O.. 42"H.
- 13 METAL CANOPY.

### ELEVATION GENERAL NOTES

1. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
2. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
3. T.O.P. EL.= TOP OF PARAPET ELEVATION.
4. F.F. = FINISH FLOOR ELEVATION.
5. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST - MPH. EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
6. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
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8. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
9. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
10. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON

### ELEVATION COLOR LEGEND/SCHED.

- 1 PAINT. COLOR : SW 7631 CITY LOFT
- 2 PAINT. COLOR : SW 7638 JOGGING PATH
- 3 PAINT. COLOR : SW 9171 FELTED WOOL
- 4 PAINT. COLOR : SW 9172 STUDIO CLAY
- 5 PAINT. COLOR : SW 7055 ENDURING BRONZE
- 6 PAINT. COLOR : SW 7701 CAVERN CLAY
- 7 MULLIONS COLOR : CLEAR ANODIZED
- 8 GLAZING COLOR : BLUE REFLECTIVE GLAZING

### GLAZING LEGEND

NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.

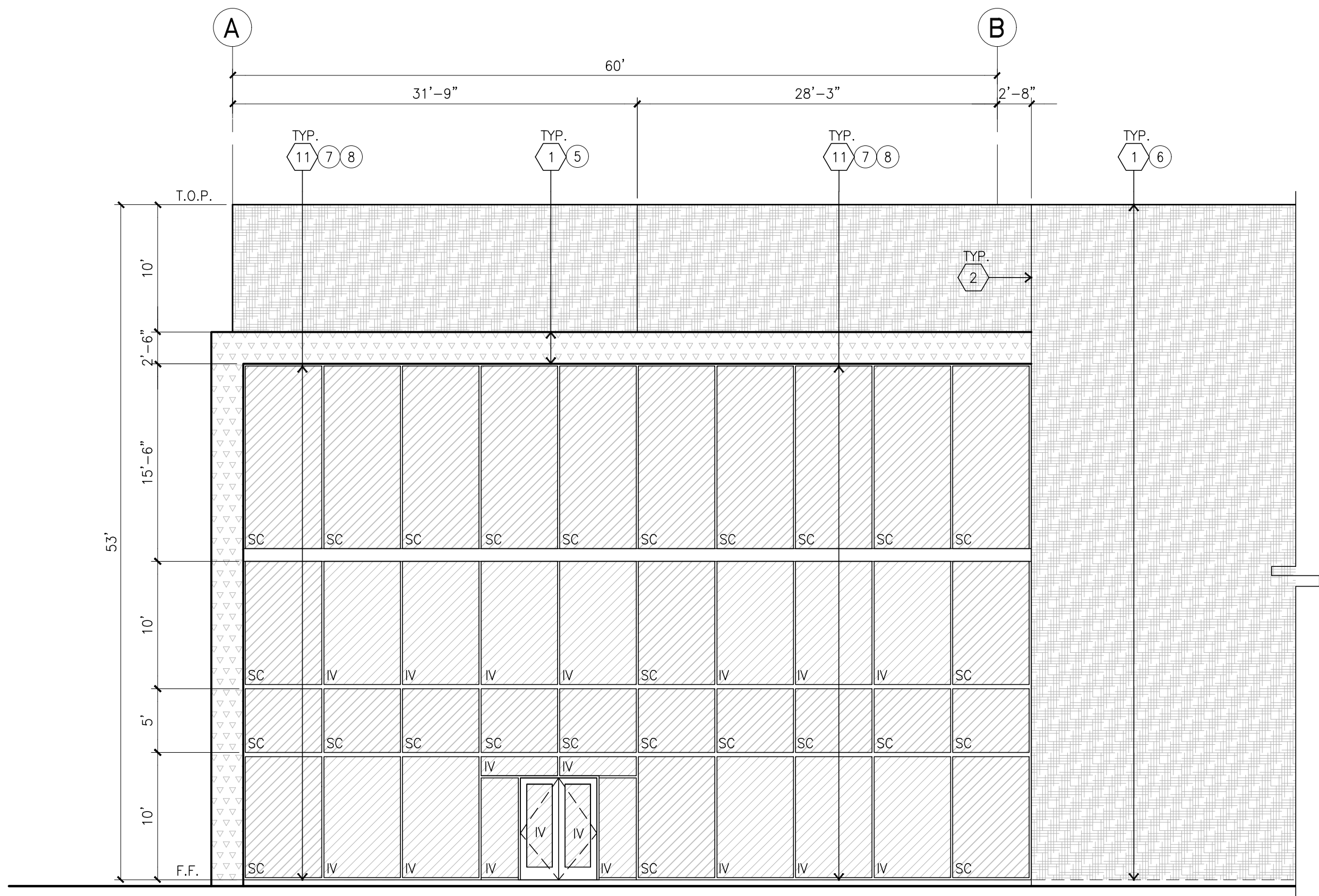
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|----|--------------------------|----|-------------------------------------|
| IV | INSULATED VISION GLASS   | SC | SPANDREL GLASS WITH CONCRETE BEHIND |
| V  | SINGLE LITE VISION GLASS |    |                                     |

IV : INSULATED VISION GLASS  
1/4" VISTACOOL PACIFICA + 1/4" SOLARBAN 60 CLEAR  
1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES  
U: 0.27 SHGC: 0.21 VLT: 26%  
MINIMUM VT TO BE 0.42 PER 2016 CED TABLE 140.3-B

SC : SPANDREL WITH CONCRETE BEHIND  
1/4" VISTACOOL PACIFICA WITH WARM GRAY OPACICOAT PAINTED ON REFLECTIVE.  
INSTALLED ON CONCRETE.

V : VISION GLASS  
1/4" VISTACOOL PACIFICA

MULLIONS : ANODIZED CLEAR.

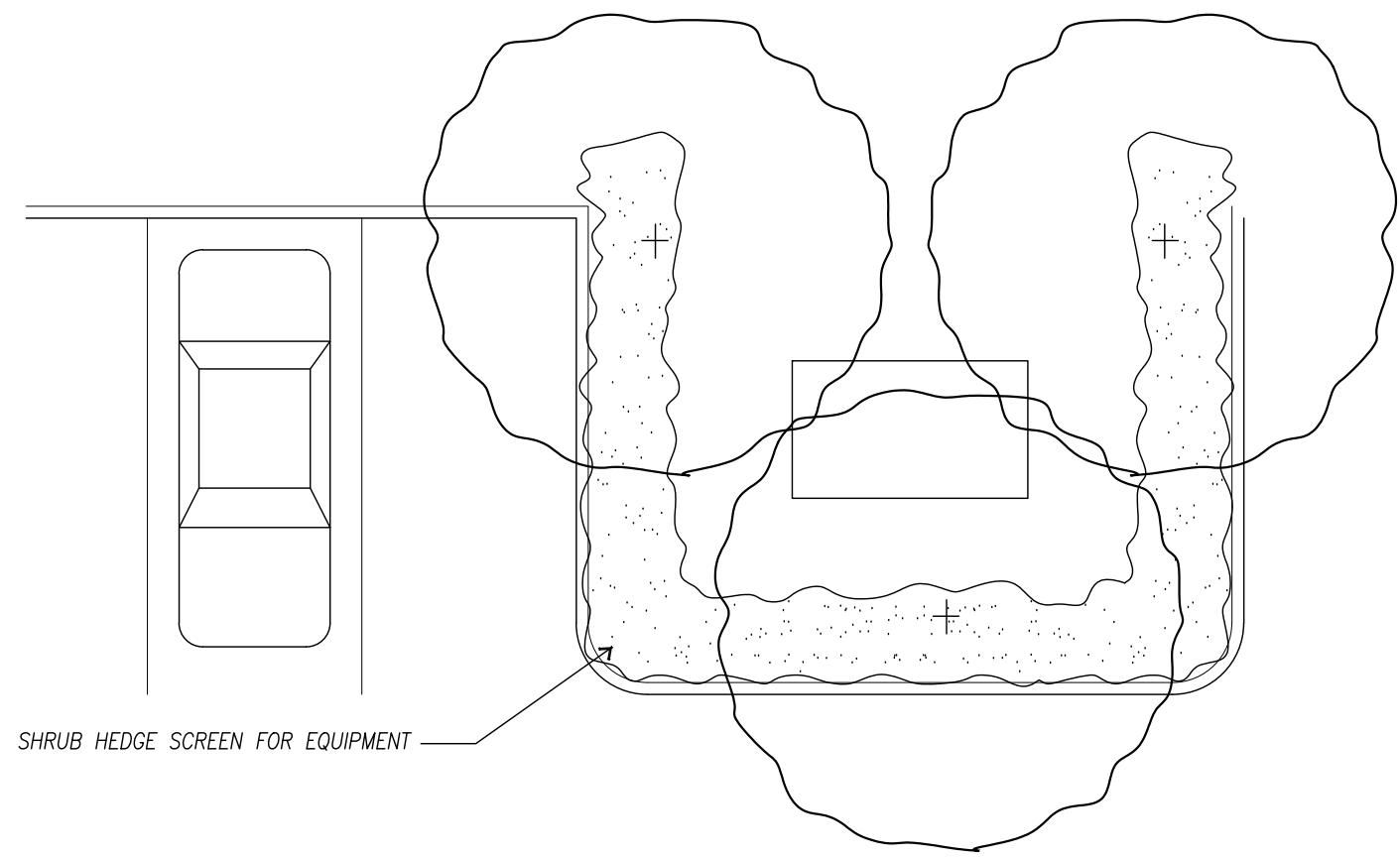


ENLARGED NORTH ELEVATION

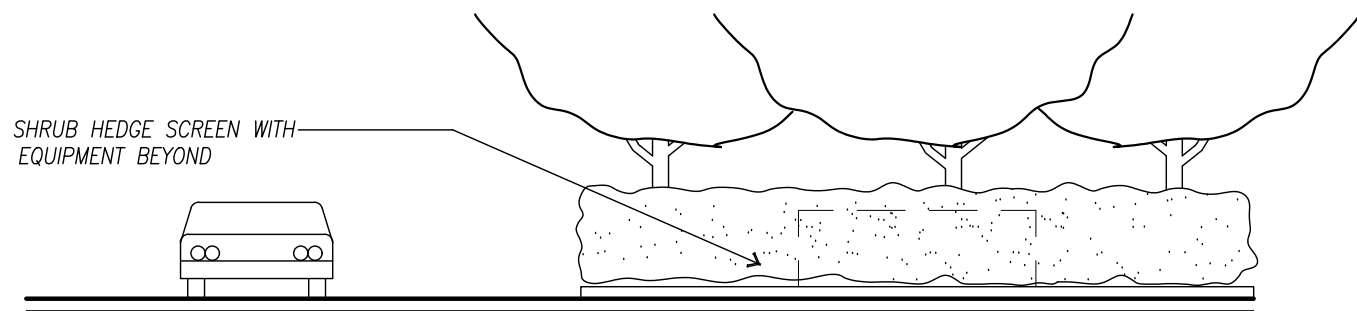
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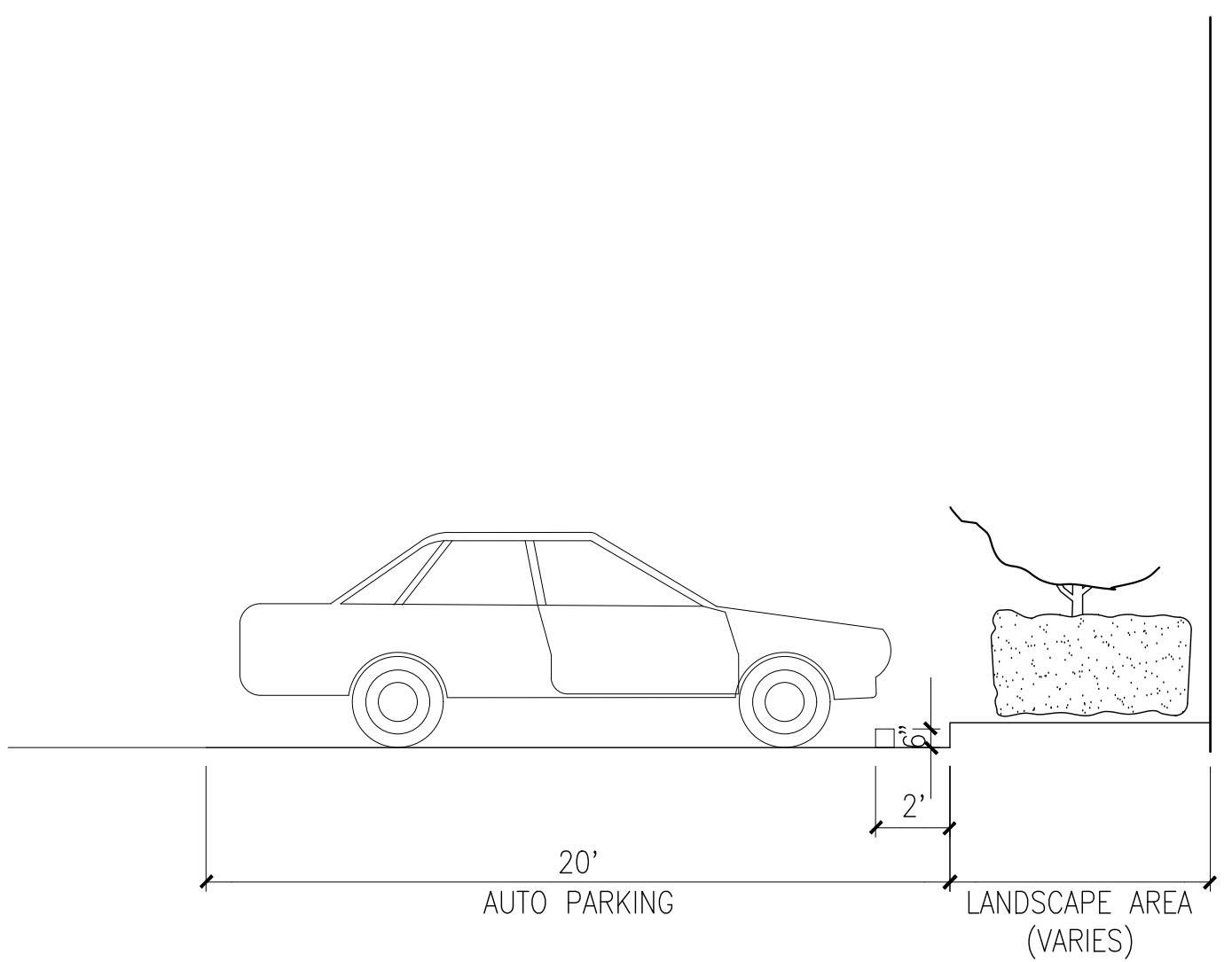
PLAN VIEW



ELEV.

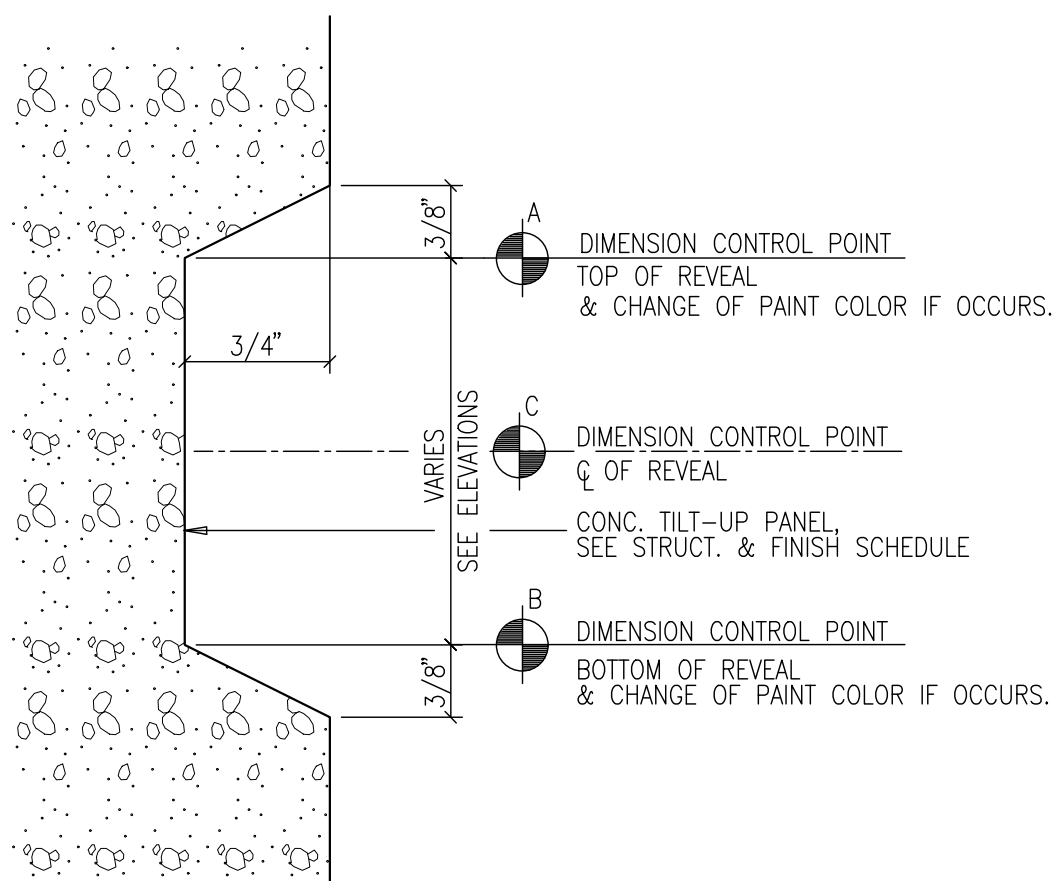
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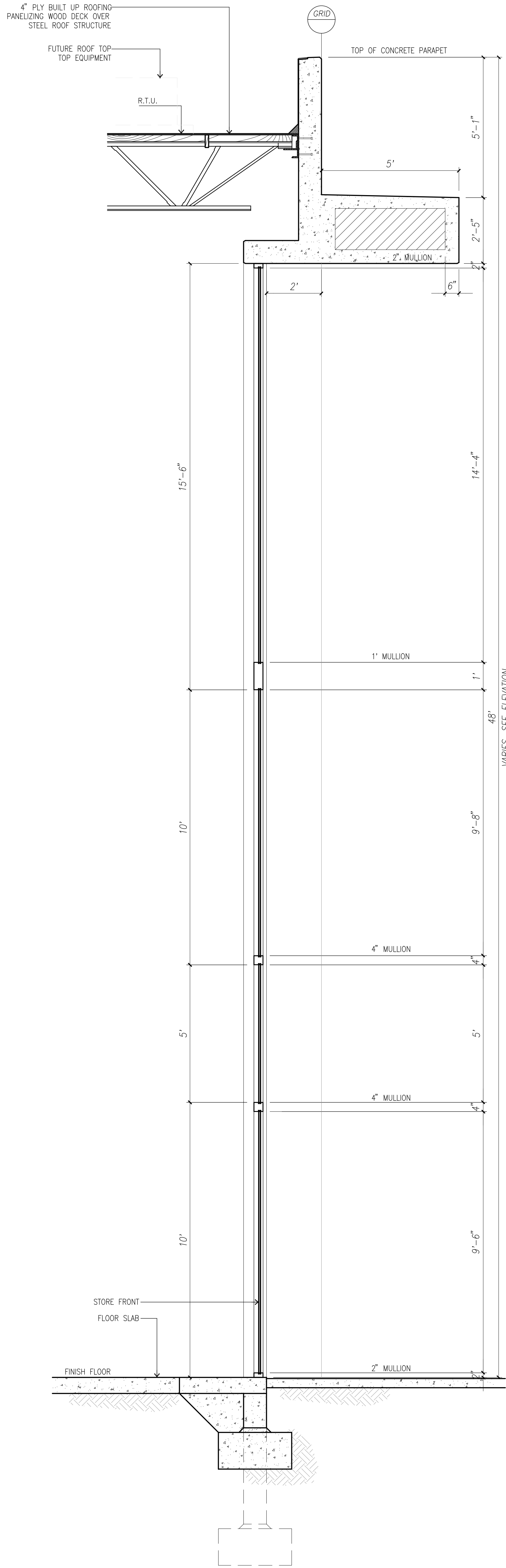
TYP. PARKING SECTION C

scale: N.T.S.



CONCRETE REVEAL D

scale: N.T.S.



TYP. STOREFRONT ELEVATION A

scale: 1/2\"/>



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Project:

Mojave Drive &  
Onyx Road

VICTORVILLE, CA

Consultants:

Civil: KIER & WRIGHT  
Structural: -  
Mechanical: -  
Plumbing: -  
Electrical: -  
Landscape: RODARTE LANDSCAPE  
Fire Protection: -  
Soils Engineer: LGC GEOTECHNICAL

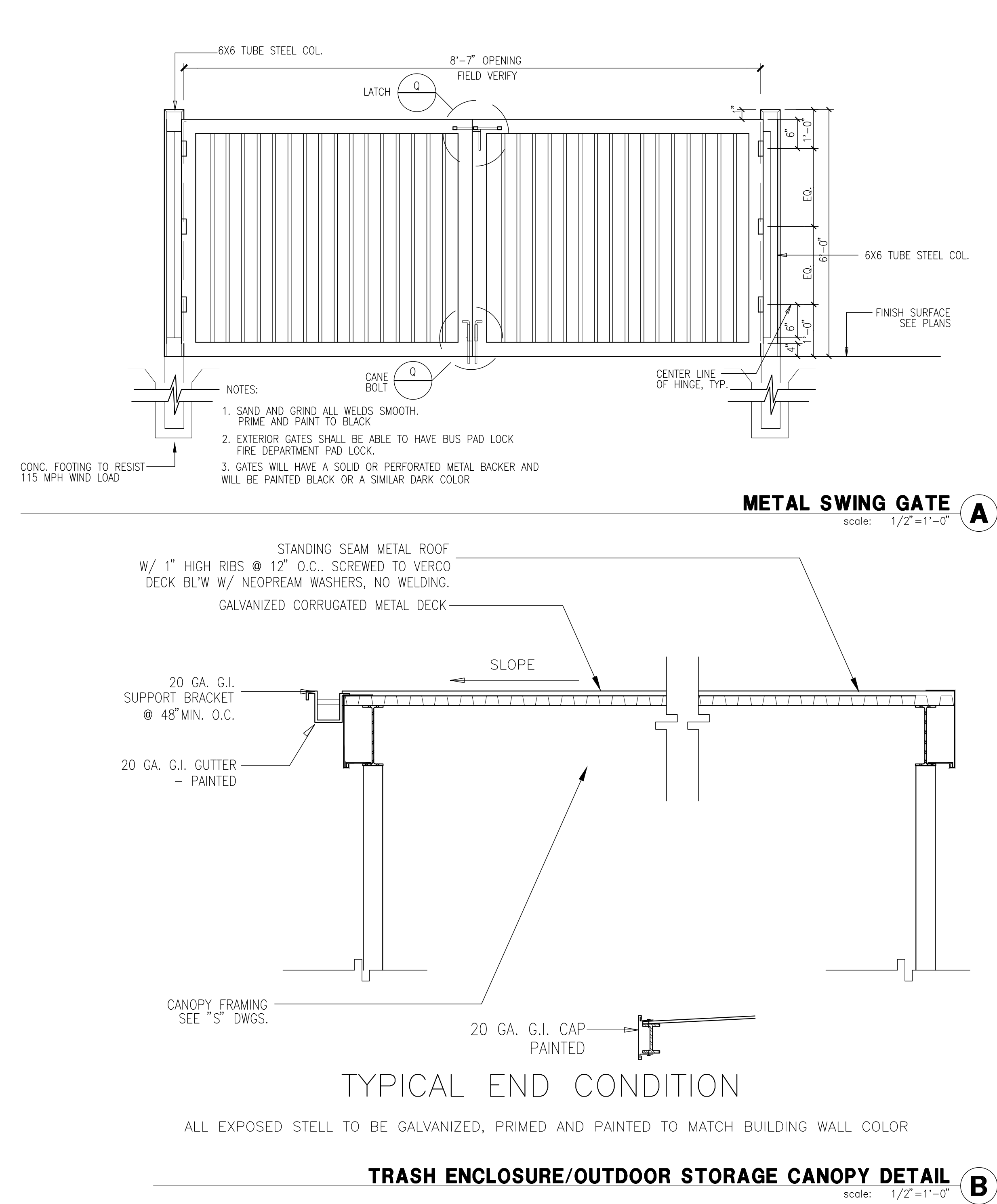
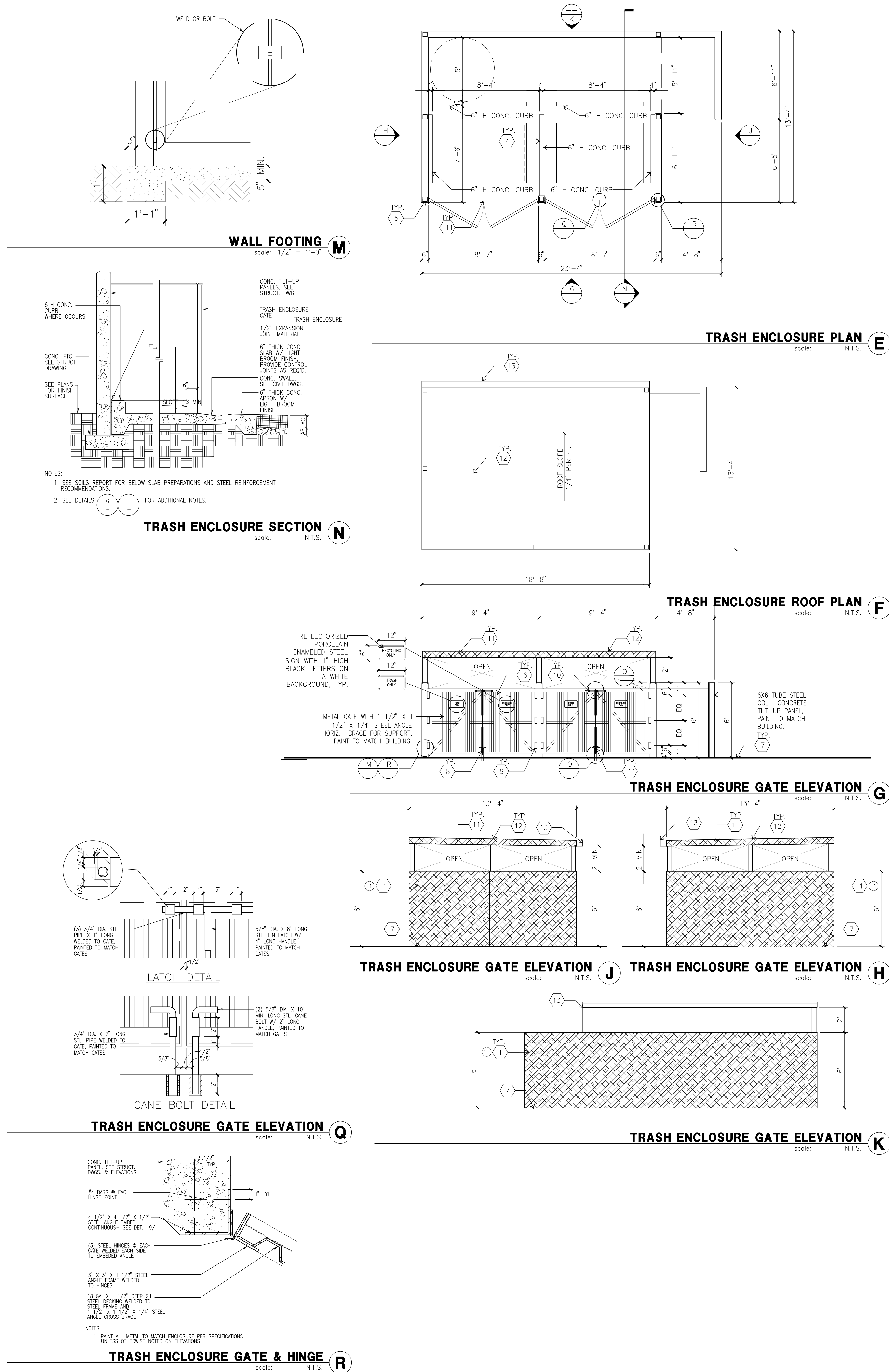
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Project Number: 22388  
Drawn by: JK  
Date: 08/02/22  
Revision:

Sheet:

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#### KEYNOTES - TRASH ENCLOSURE

- EXTERIOR COLOR AND FINISH TO MATCH BUILDING
- DOUBLE SWING METAL GATES
- CONCRETE FILLED GUARD POST 6" DIA U.N.O. 42" H.
- 4" W X 6"H WHEEL STOPS WITH 1" BEVEL TOP CUTS, SHALL BE FROM RECYCLED MATERIALS. SECURED TO SLAB W/ 1/2" DIA. ANCHOR BOLTS @ 36" O.C. MIN. TYPICAL.
- 6" H CONCRETE CURB.
- 22GA. SOLID VIEW OBSTRUCTING METAL DECORATIVE PANELS. THE PANELS NEEDS TO BE SOLID AND CAN NOT HAVE GAPS OR OPENING THAT ALLOW ANYONE TO SEE INTO THE ENCLOSURE.
- FINISH SURFACE.
- STEEL CANE BOLT W/ SLEEVE, LOCATED ON OUTSIDE OF ONE GATE. (TYPICAL EA. SIDE)
- HEAVY DUTY STEEL HINGE. (TYPICAL EA. GATE)
- HEAVY DUTY SLIDE BOLT. (TYPICAL EA. GATE)
- METAL FASCIA
- STANDING SEAM METAL ROOF
- GUTTER

#### ELEVATION COLOR LEGEND/SCHED.

- PAINT. COLOR : SW 9162 AFRICAN GRAY
- PAINT. COLOR : SW 7757 HIGH REFLECTIVE WHITE



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Project:

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Onyx Road

VICTORVILLE, CA

Consultants:

Civil: KIER & WRIGHT  
Structural: -  
Mechanical: -  
Plumbing: -  
Electrical: -  
Landscape: RODARTE LANDSCAPE  
Fire Protection: -  
Soils Engineer: LGC GEOTECHNICAL

Title: TRASH ENCLOSURE DETAIL

Project Number: 22388

Drawn by: JK

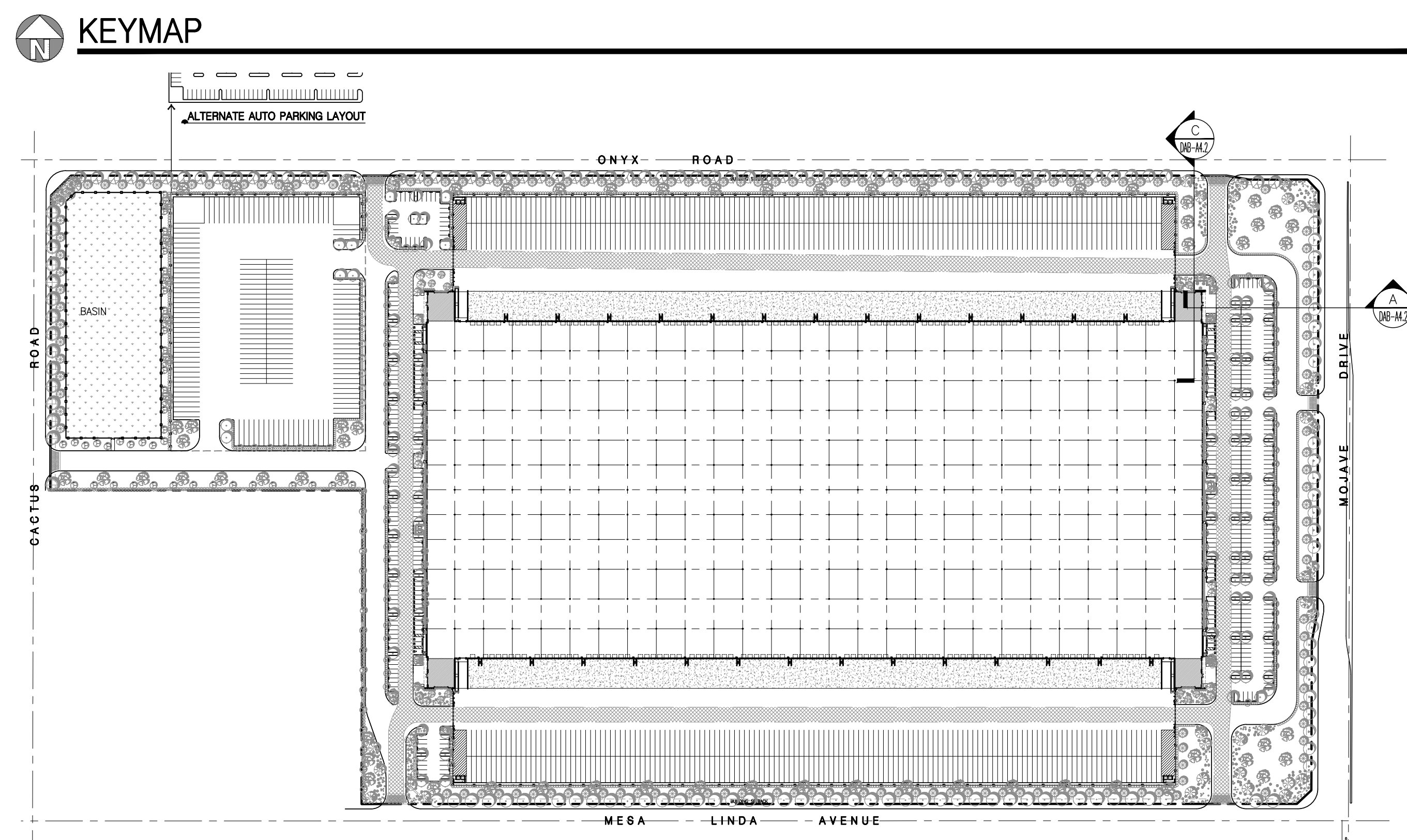
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Project:

Mojave Drive &  
Onyx Road

VICTORVILLE, CA

Consultants:

Civil:	KIER & WRIGHT
Structural:	-
Mechanical:	-
Plumbing:	-
Electrical:	-
Landscape:	RODARTE LANDSCAPE
Fire Protection:	-
Soils Engineer:	LGC GEOTECHNICAL

Title: SITE SECTION

Project Number: 22388

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## DAB-A4.3



DAD-A4.4



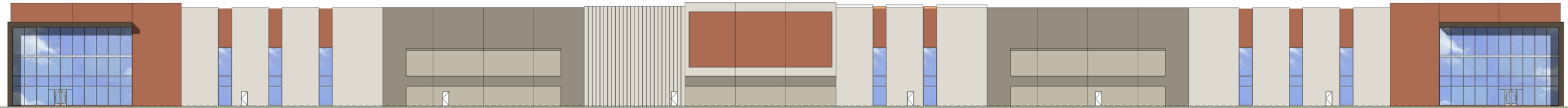


Conceptual Elevations - 42ft clear  
**MOJAVE DR. & ONYX RD.**  
Victorville, California

#22388 | 10.14.2022

**Industrial Property  
Group, Inc**

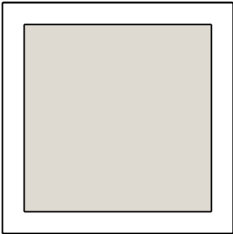
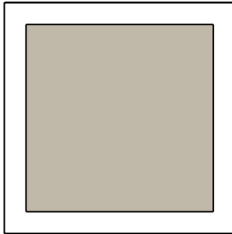
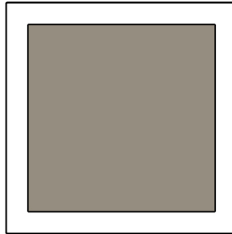
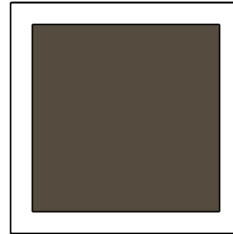
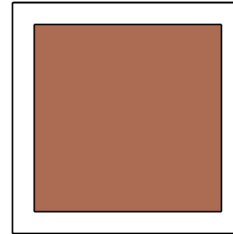
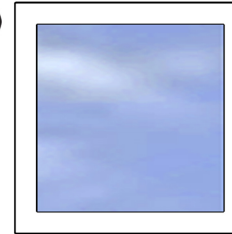


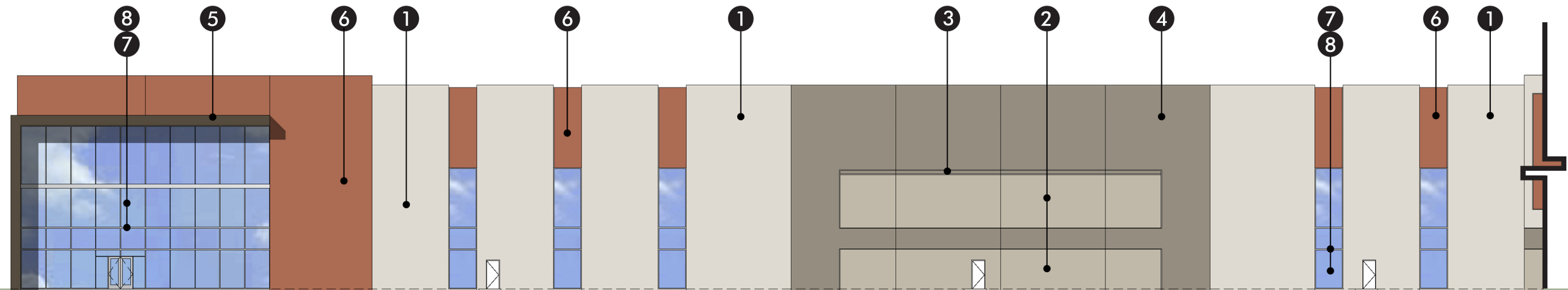


Cactus Road - North Elevation



Mesa Linda Avenue - West Elevation

1		2		3		4		5		6		7		8	
	SHERWIN WILLIAMS SW 7631 CITY LOFT		SHERWIN WILLIAMS SW 7638 JOGGING PATH		SHERWIN WILLIAMS SW 9171 FELTED WOOL		SHERWIN WILLIAMS SW 9172 STUDIO CLAY		SHERWIN WILLIAMS SW 7055 ENDURING BRONZE		SHERWIN WILLIAMS SW 7701 CAVERN CLAY		CLEAR ANODIZED MULLIONS		BLUE REFLECTIVE GLAZING



Enlarged View of South Elevation



Conceptual Elevations and Material Board

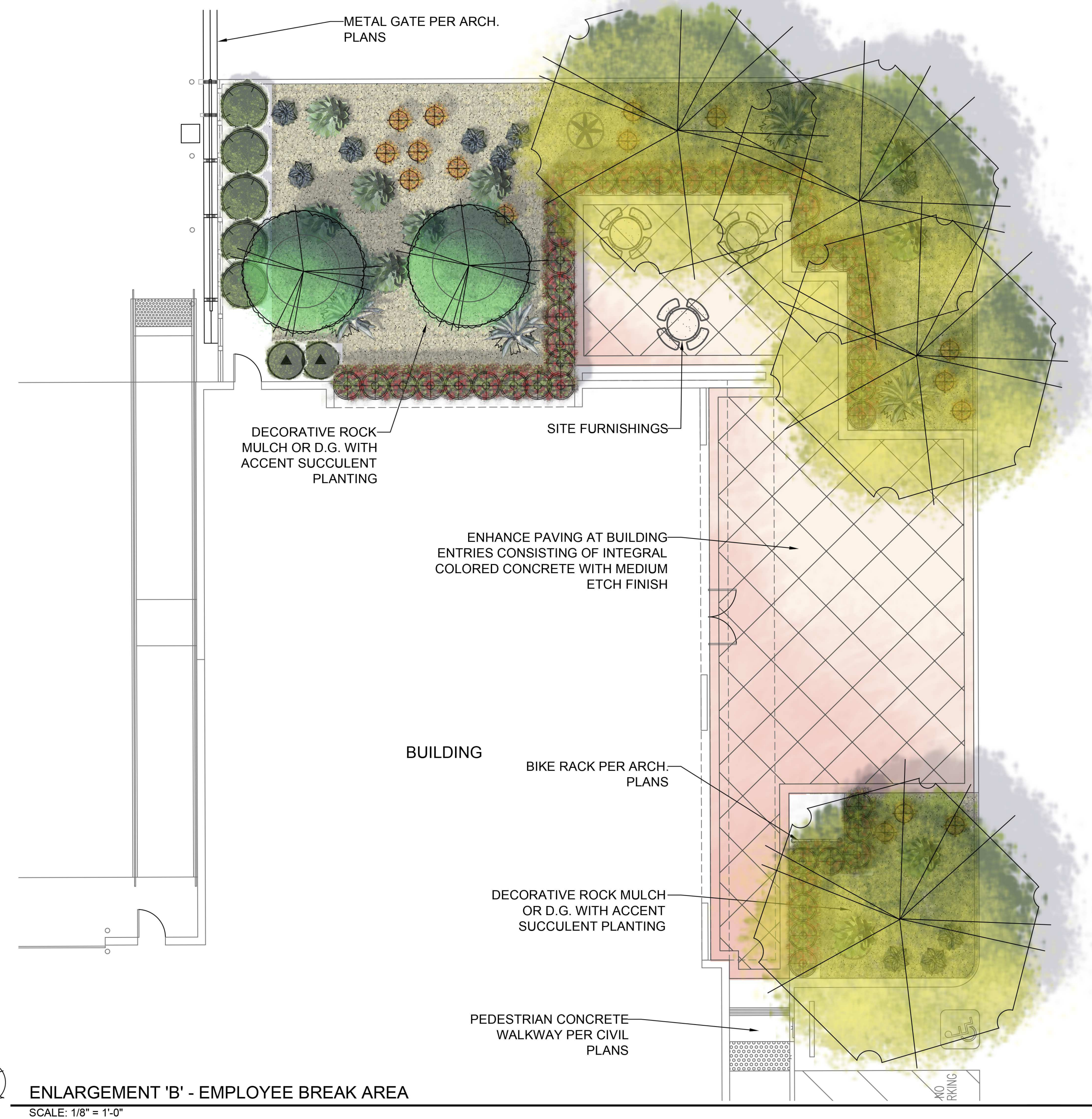
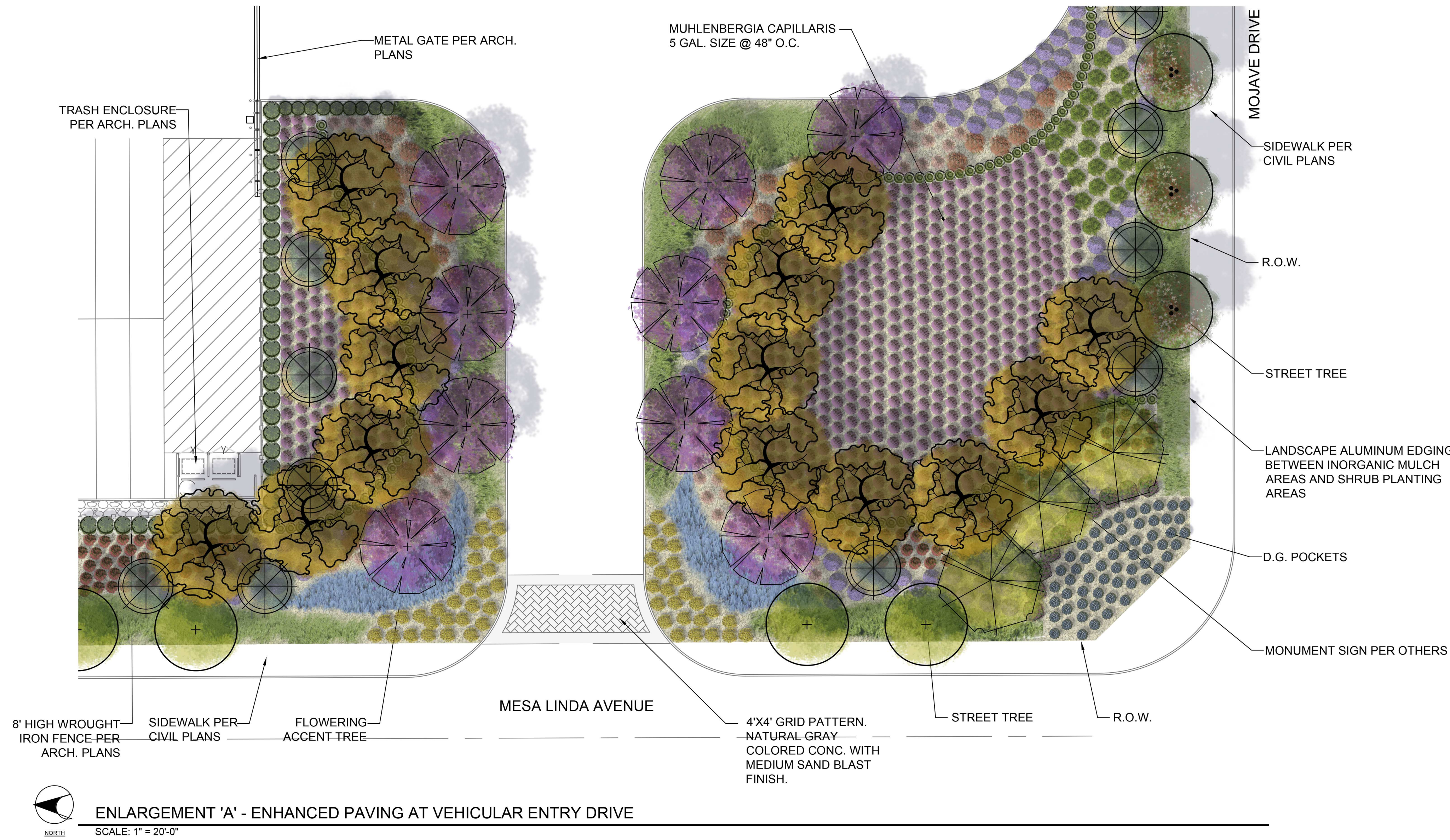
MOJAVE DR. & ONYX RD.

Victorville, California

#22388 | 10.27.2022

**Industrial Property  
Group, Inc**

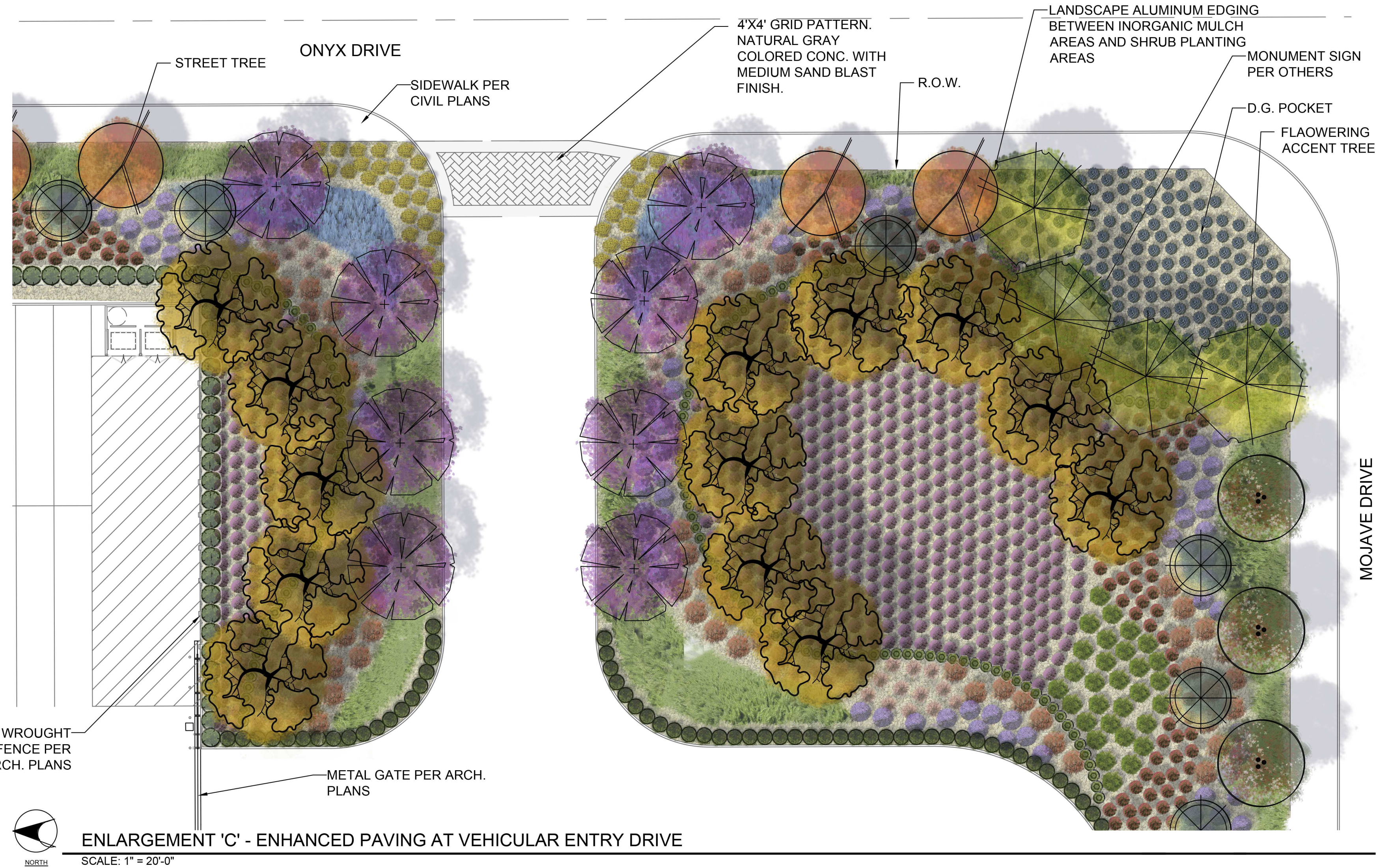




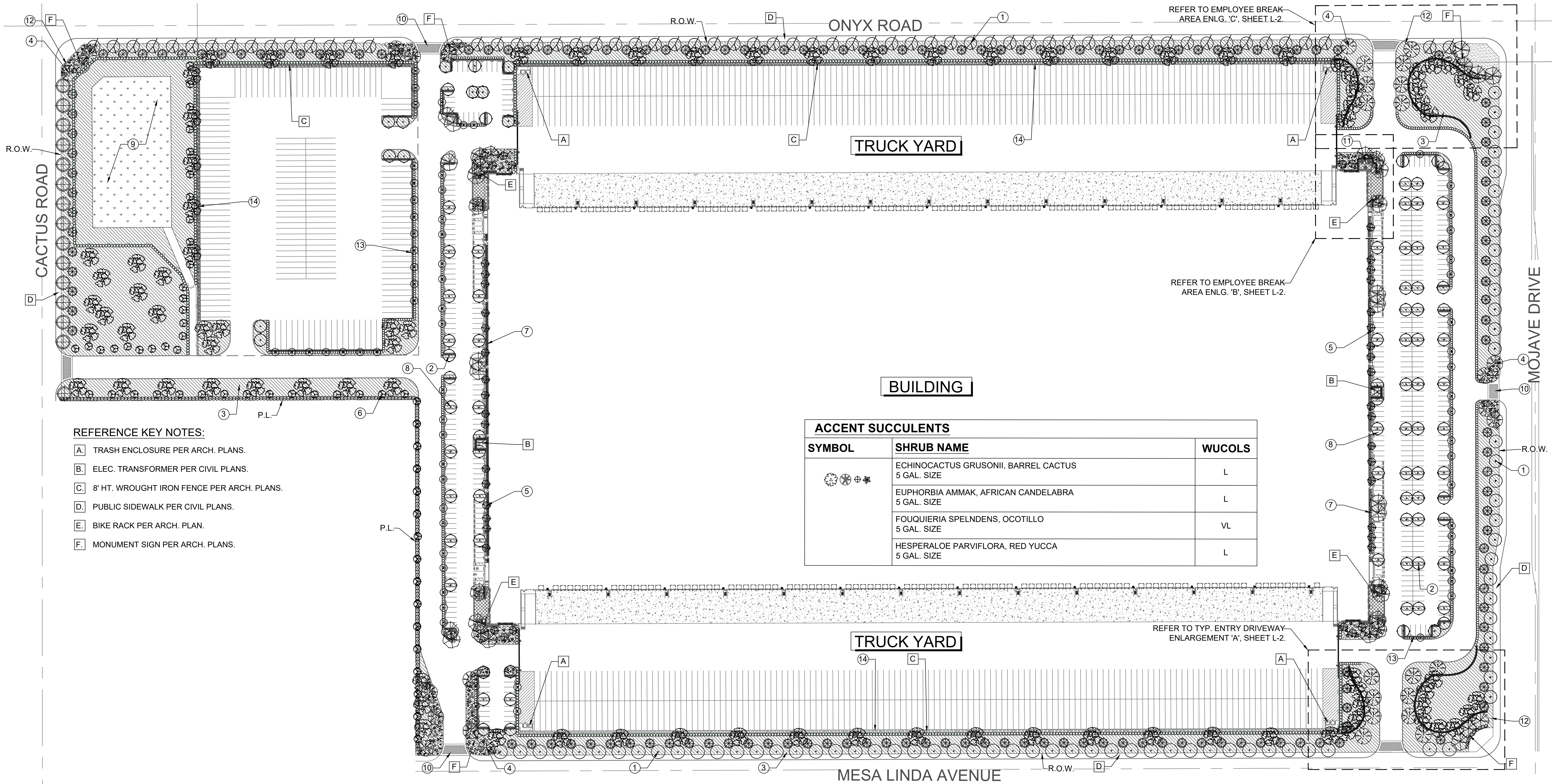
TREES		
SYMBOL	TREE NAME	WUCOLS
	PROPOSED STREET TREE ON MESA LINDA AVENUE PROSOPIS CHILENSIS, CHILEAN MESQUITE 24" BOX SIZE	L
	PROPOSED STREET TREE ON MOJAVE DRIVE PISTACIA CHINENSIS, CHINESE PISTACHE 24" BOX SIZE	M
	FLOWERING ACCENT TREE AT DRIVEWAYS KOELREUTERIA BIPINNATA, GOLDEN RAIN TREE 36" BOX SIZE	L
	FLOWERING ACCENT TREE AT BUILDING ENTRIES CERCIDIUM F. 'DESERT MUSEUM', BLUE PALO VERDE 36" BOX SIZE	L
	BACKDROP TREE -PINUS HALAPENSIS, ALEPPO PINE -PINUS ELДАРICA, MONDELL PINE 24" BOX SIZE	M
	VERTICAL TREE ALONG BUILDING ACACIA STENOPHYLLA, SHOESTRING ACACIA 15 GAL. SIZE	L
	PLATANUS RACEMOSA, WESTERN SYCAMORE 15 GAL. SIZE	H
	PROPOSED STREET TREE ON ONYX ROAD ZELKOVA SERRATA, JAPANESE ZELKOVA 24" BOX SIZE	M

ACCENT SUCCULENTS		
SYMBOL	SHRUB NAME	WUCOLS
	AGAVE ATTENUATA, FOX TAIL AGAVE 5 GAL. SIZE	L
	AGAVE PARRYI, ARTICHOKE AGAVE 5 GAL. SIZE	VL
	AGAVE A. 'MEDIOPICTA ALBA', CENTURY PLANT 5 GAL. SIZE	VL
	CAESALPINIA PULCHERRIMA, MEXICAN BIRD OF PARADISE 5 GAL. SIZE	L
	HESPERALOE PARVIFLORA, RED YUCCA 5 GAL. SIZE	L

GROUND COVER AND SHRUB MASSES - GROUND COVER AND SHRUB MASSES SHALL BE CHOSEN FROM THE FOLLOWING:		
SYMBOL	GROUND COVER/SHRUB MASS NAME	WUCOLS
	BACCHARIS 'CENTENNIAL', CENTENNIAL DESERT BROOM 5 GAL. SIZE @ 48" O.C.	L
	CALLIANDRA ERIOPHYLLA, FAIRY DUSTER 5 GAL. SIZE @ 60" O.C.	L
	SENECIO MANDRALISCAE, BLUE CHALK STICKS 1 GAL. SIZE @ 24" O.C.	L
	ENCELIA FARINOSA, DESERT ENCELIA 5 GAL. SIZE @ 48" O.C.	L
	JUSTICIA CALIFORNICA, CHUPAROSA 5 GAL. SIZE @ 60" O.C.	L
	LEUCOPHYLLUM FRUTESCENS, TEXAS RANGER 5 GAL. SIZE @ 60" O.C.	L
	MUHLENBERGIA CAPILLARIS, PINK MUHLY 5 GAL. SIZE @ 48" O.C.	M
	SALVIA GREGGII, AUTUMN SAGE 1 GAL. SIZE @ 36" O.C.	L
	ROSEMARINUS O. 'PROSTRATUS', PROSTRATE ROSEMARY 1 GAL. SIZE @ 42" O.C.	M
	WESTRINGIA FRUTICOSA MUNDI, LOW COAST ROSEMARY 5 GAL. SIZE @ 36" O.C.	L







REFERENCE KEY NOTES:

- [A] TRASH ENCLOSURE PER ARCH. PLANS.  
[B] ELEC. TRANSFORMER PER CIVIL PLANS.  
[C] 8' HT. WROUGHT IRON FENCE PER ARCH. PLANS.  
[D] PUBLIC SIDEWALK PER CIVIL PLANS.  
[E] BIKE RACK PER ARCH. PLAN.  
[F] MONUMENT SIGN PER ARCH. PLANS.

ACCENT SUCCULENTS

SYMBOL	SHRUB NAME	WUCOLS
	ECHINOCACTUS GRUSONII, BARREL CACTUS 5 GAL. SIZE	L
	EUPHORBIA AMMAK, AFRICAN CANDELABRA 5 GAL. SIZE	L
	FOUQUIERIA SPELNDENS, OCOTILLO 5 GAL. SIZE	VL
	HESPERALOE PARVIFLORA, RED YUCCA 5 GAL. SIZE	L

PLANTING LEGEND

TREES			
SYMBOL	TREE NAME	QTY.	WUCOLS
	PROPOSED STREET TREE ON MESA LINDA AVENUE PROSOPIS CHILENSIS, CHILEAN MESQUITE 24" BOX SIZE	45	L
	PROPOSED STREET TREE ON MOJAVE DRIVE PISTACIA CHINENSIS, CHINESE PISTACHE 24" BOX SIZE	28	M
	PROPOSED STREET TREE ON ONYX ROAD ZELKOVA SERRATA, JAPANESE ZELKOVA 24" BOX SIZE	61	M
	PROPOSED STREET TREE ON CACTUS ROAD ULMUS PARVIFOLIA 'TRUE GREEN', EVERGREEN ELM 24" BOX SIZE	15	L
	FLOWERING ACCENT TREE AT DRIVEWAYS KOELREUTERIA BIPINNATA, GOLDEN RAIN TREE 36" BOX SIZE	34	L
	FLOWERING ACCENT TREE AT BUILDING ENTRIES CERCIDIUM F. 'DESERT MUSEUM', BLUE PALO VERDE 36" BOX SIZE	36	L
	PARKING LOT SHADE TREE QUERCUS ILEX, HOLLY OAK 24" BOX SIZE	90	L
	SECOND PARKING LOT TREE RHUS LANCEA, AFRICAN SUMAC 15 GAL. SIZE	68	L

CONT. TREE LEGEND

	BACKDROP TREE -PINUS HALAPENSIS, ALEPPO PINE -PINUS ELDARICA, MONDELL PINE 24" BOX SIZE	150	M
	VERTICAL TREE ALONG BUILDING ACACIA STENOPHYLLA, SHOESTRING ACACIA 15 GAL. SIZE	44	L
	EVERGREEN TREE ALONG PROPERTY LINE QUERCUS ILEX, HOLLY OAK 15 GAL. SIZE	55	L
	PLATANUS RACEMOSA, WESTERN SYCAMORE 15 GAL. SIZE	91	H

SHRUBS - SHRUBS SHALL BE CHOSEN FROM THE FOLLOWING:

SYMBOL	SHRUB NAME	WUCOLS
	ROSMARINUS O. 'TUSCAN BLUE', TUSCAN BLUE ROSEMARY 5 GAL. SIZE.	M
	LEUCOPHYLLUM F. 'GREEN CLOUD', TEXAS RANGER 5 GAL. SIZE	L
	LIGUSTRUM 'TEXANUM', JAPANESE PRIVET 5 GAL. SIZE	M
	OLEA 'LITTLE OLLIE', LITTLE OLLIE DWARF OLIVE 5 GAL. SIZE @ 36" O.C.	L
	WESTRINGIA F. 'WYNYABBIE GEM', COAST ROSEMARY 5 GAL. SIZE.	L
	RHUS OVATA, SUGAR BUSH 5 GAL. SIZE	L

GROUND COVER AND SHRUB MASSES - GROUND COVER AND SHRUB MASSES SHALL BE CHOSEN FROM THE FOLLOWING:

SYMBOL	GROUND COVER/SHRUB MASS NAME	WUCOLS
	ARISTIDA PURPUREA, PURPLE THREE-AWN 1 GAL. SIZE @ 36" O.C.	L
	BACCHARIS 'CENTENNIAL', CENTENNIAL DESERT BROOM 5 GAL. SIZE @ 48" O.C.	L
	CALLIANDRA ERIOPHYLLA, FAIRY DUSTER 5 GAL. SIZE @ 60" O.C.	L
	DALEA GREGGII, TRAILING INDIGO 1 GAL. SIZE @ 42" O.C.	L
	ENCELIA FARINOSA, DESERT ENCELIA 5 GAL. SIZE @ 48" O.C.	L
	JUSTICIA CALIFORNICA, CHUPAROSA 5 GAL. SIZE @ 60" O.C.	L
	LEUCOPHYLLUM FRUITESCENS, TEXAS RANGER 5 GAL. SIZE @ 60" O.C.	L
	MUHLENBERGIA CAPILLARIS, PINK MUHLY 5 GAL. SIZE @ 48" O.C.	M
	SALVIA GREGGII, AUTUMN SAGE 1 GAL. SIZE @ 36" O.C.	L
	ROSEMARINUS O. 'PROSTRATUS', PROSTRATE ROSEMARY 1 GAL. SIZE @ 42" O.C.	M
	STORM WATER DETENTION BASINS TO RECEIVE HYDROSEED APPLICATION	M

NOTE: ALL SHRUB PLANTING AREAS WITHIN LIMIT OF WORK SHALL RECEIVE A 3" LAYER OF SHREDDED WOOD MULCH. PROVIDE SUBMITTAL FOR REVIEW PRIOR TO INSTALLATION.

CONCEPTUAL PLAN NOTE:

THIS IS A CONCEPTUAL LANDSCAPE PLAN. IT IS BASED ON PRELIMINARY INFORMATION WHICH IS NOT FULLY VERIFIED AND MAY BE INCOMPLETE. IT IS MEANT AS A COMPARATIVE AID IN EXAMINING ALTERNATE DEVELOPMENT STRATEGIES AND ANY QUANTITIES INDICATED ARE SUBJECT TO REVISION AS MORE RELIABLE INFORMATION BECOMES AVAILABLE.

IRRIGATION NOTE:

THE PROJECT WILL BE EQUIPPED WITH A LOW FLOW IRRIGATION SYSTEM CONSISTING OF ET WEATHER BASED SMART CONTROLLER, LOW FLOW ROTORS, BUBBLER AND/ OR DRIP SYSTEMS USED THROUGHOUT. THE IRRIGATION WATER EFFICIENCY WILL MEET OR SURPASS THE CURRENT STATE MANDATED AB-1881 WATER ORDINANCE.

GENERAL NOTES:

- SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH EROSION CONTROL GROUND COVER PER LEGEND, AND MULCH MATERIAL WITH 'BINDER' MATERIAL SHALL BE APPLIED FOR EROSION CONTROL.
- ALL UTILITY EQUIPMENT SUCH AS BACKFLOW UNITS, FIRE DETECTOR CHECKS AND FIRE CHECK VALVES WILL BE SCREENED WITH EVERGREEN PLANT MATERIAL ONCE FINAL LOCATIONS HAVE BEEN DETERMINED.

WUCOLS PLANT FACTOR

THIS PROJECT IS LOCATED IN 'WUCOLS' REGION '5- HIGH AND INTERMEDIATE DESERT'.

H = HIGH WATER NEEDS  
M = MODERATE WATER NEEDS  
L = LOW WATER NEEDS  
VL = VERY LOW WATER NEEDS

DESIGN KEY NOTES:

- NEW STREET TREE PER LEGEND.
- PROPOSED NEW PARKING LOT SHADE TREE PER LEGEND.
- DROUGHT TOLERANT SHRUBS AND GROUND COVER PER LEGEND.
- FLOWERING ACCENT TREES AT KEY FOCAL AREAS SUCH AS DRIVEWAY AND BUILDING ENTRIES.
- VERTICAL GROWING TREE ADJACENT TO BUILDING PER LEGEND.
- EVERGREEN SCREEN TREE PER LEGEND.
- FOUNDATION SHRUB PLANTING PER LEGEND.
- ALL TREE LOCATED 3' OR LESS TO CURB, WALKWAY OR WALL SHALL BE INSTALLED WITH DEEP ROOT BARRIER PANELS. 18" MIN. DEPTH X 10' WIDE PANEL.
- STORM WATER TREATMENT BASIN SHALL BE HYDROSEED WITH GRASSES AND SHRUBS TOLERANT OF SEASONAL WATER INUNDATION.
- ENHANCED PAVING AT DRIVEWAY AREAS. INTEGRAL COLORED CONCRETE WITH MEDIUM ETCH FINISH.
- OUTDOOR SEATING AREA CONSISTING OF INTEGRAL COLOR CONCRETE AND SITE FURNITURE.
- D.G. AREA WITH ASSORTED SUCCULENTS PER LEGEND.
- ALLOW FOR 24" CLEARANCE FROM BACK OR CURB TO SHRUB. PROVIDE MULCH BETWEEN BACK OF CURB AND SHRUB.
- 3" LAYER OF CRUSHED ROCK OVER WEED FILTER FABRIC.



TREES



SHRUBS



GROUND COVER



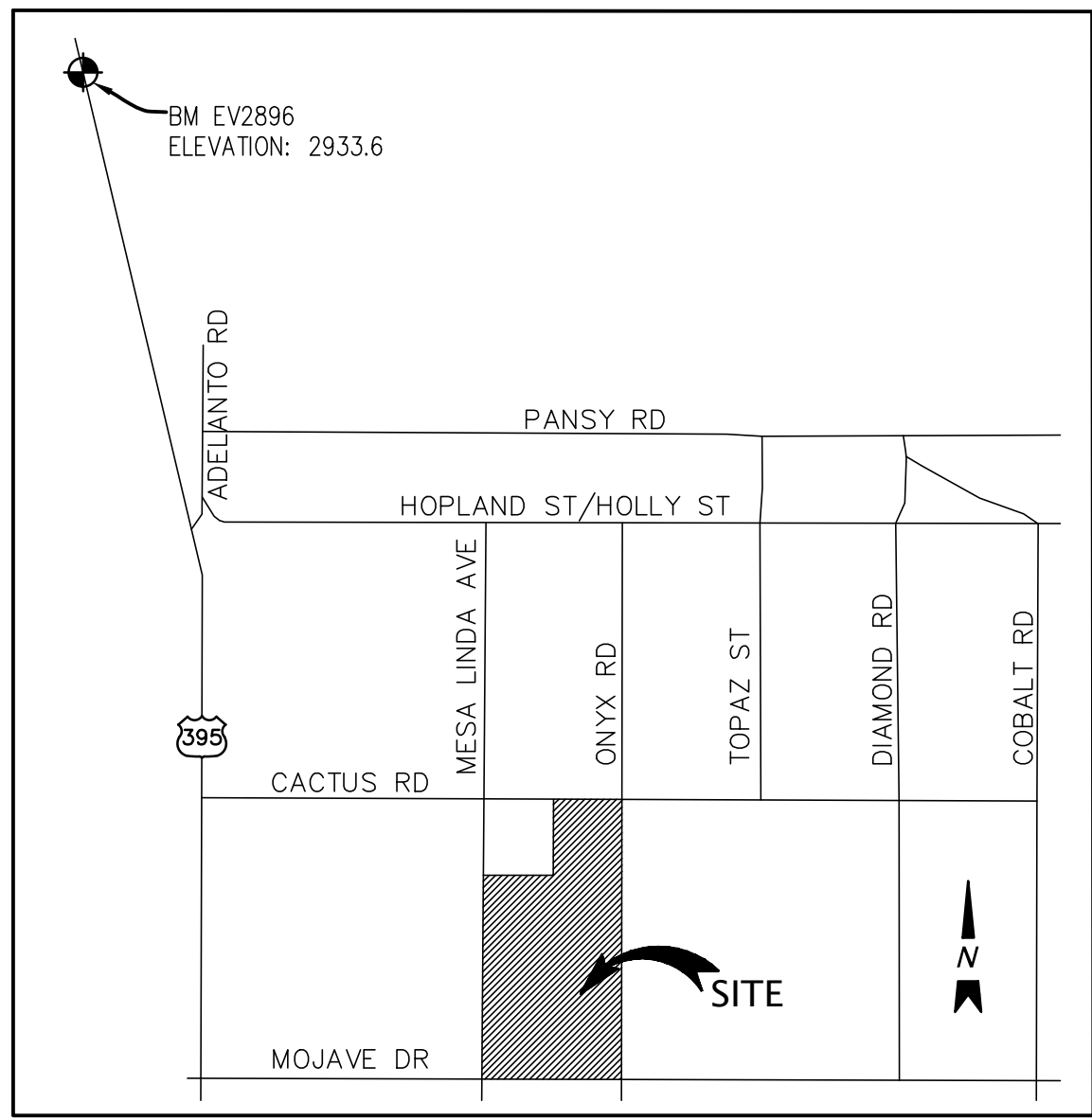
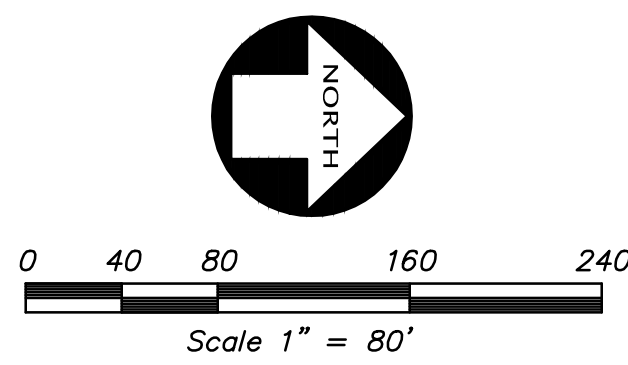
ACCENT SUCCULENTS





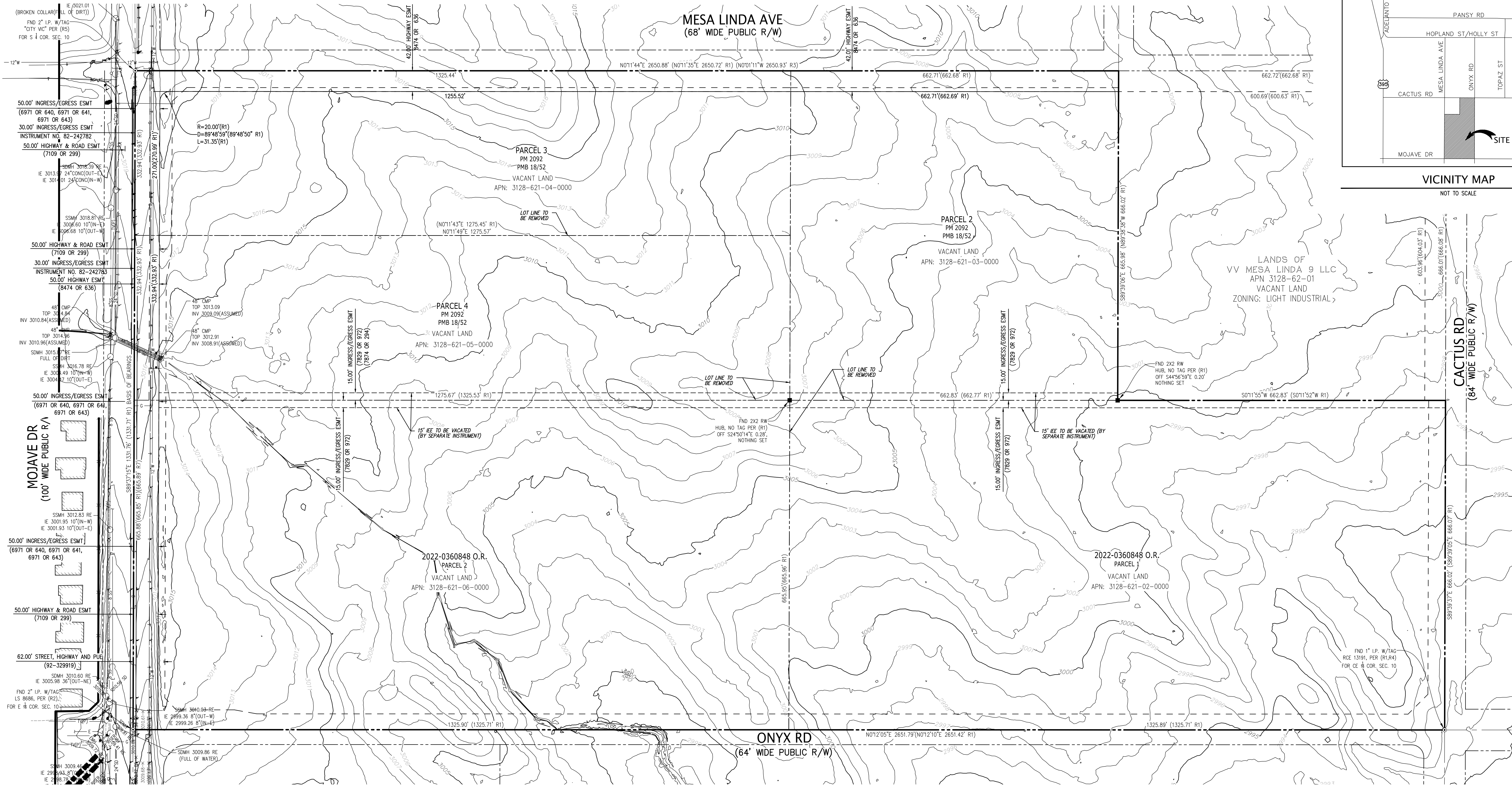
# TENTATIVE PARCEL MAP NO. 20772

5 LOTS MERGED TO 1 LOT  
IN THE CITY OF VICTORVILLE, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA



VICINITY MAP

NOT TO SCALE



## PROJECT DATA

- OWNERS/APPLICANT: INDUSTRIAL PROPERTY GROUP, INC. ATTN: CRAIG WILDE, 10515 20TH STREET SOUTHEAST LAKE STEVENS, WASHINGTON 98258 (314) 713-9516
- MAP PREPARED BY: KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC. ATTN: D. GARRETT READER, PE 163 TECHNOLOGY DRIVE, SUITE 150 IRVINE, CA 92618 PHONE: (949) 508-0202
- APN'S: 3128-621-02-0000, 3128-621-03-0000, 3128-621-04-0000, 3128-621-05-0000, & 3128-621-06-0000.
- EXISTING USE: VACANT LAND
- PROJECT TYPE: DEVELOPER BUILD-OUT
- PROPOSED USE: WAREHOUSE
- EXISTING ZONING: M-11 (LIGHT INDUSTRIAL)
- PROPOSED ZONING: NO CHANGE
- EXISTING NUMBER OF LOTS: 5
- PROPOSED NUMBER OF LOTS: 1
- TOTAL ACREAGE: 70.9341+ ACRES (GROSS) 64.8580+ ACRES (NET)
- ALL DISTANCES ARE APPROXIMATE.
- NO NEW STREET NAMES PROPOSED.
- THIS TENTATIVE MAP WAS PREPARED FROM INFORMATION FURNISHED IN 3 PRELIMINARY TITLE REPORTS, PREPARED BY STEWART TITLE GUARANTY COMPANY, DATED MAY 6, ORDER NUMBER 22000480519, DATED MAY 10, 2022, ORDER NUMBER 22000480500, & JUNE 22000480638, ALSO PREPARED BY CHICAGO TITLE COMPANY, DATED FEBRUARY 3, 2022, ORDER NUMBER 7102202286-00. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID REPORTS THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.
- FLOOD ZONE NOTE: THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP FOR SAN BERNARDINO COUNTY, CALIFORNIA, MAP NUMBER 06071C5795H FOR COMMUNITY NUMBER 065068 (CITY OF VICTORVILLE), WITH AN EFFECTIVE DATE OF AUGUST 28, 2008, AS BEING LOCATED IN FLOOD ZONE "X" UNSHADED. ACCORDING TO FEMA THE DEFINITION OF ZONE "X" UNSHADED IS: AN AREA OF MINIMAL FLOOD HAZARD.
- INFORMATION WAS OBTAINED FROM WWW.FEMA.GOV ON JULY 16, 2022.
- BENCHMARK: NAME: EV2896 DESCRIPTION: A USGS DISK STAMPED --ELAN 1977-- 524 FEET NORTH POST MILE 15.00, 232.9 FEET NORTH-NORTHEAST OF NORTHEAST LEG TOWER 1621, 91.7 FEET WEST OF CENTERLINE 395, 89.3 FEET EAST-SOUTHEAST OF POWER POLE 363470, 4 FEET NORTH OF A METAL WITNESS POST, 0.6 FOOT LOWER THAN CENTERLINE 395, PROJECT'S 0.3 FOOT ABOVE GROUND, 1 INCH X 30 INCH STEEL PIPE IN CONCRETE POST. ELEVATION: 2933.6 FEET (NAVD88)
- BASIS OF BEARINGS: THE BEARING OF SOUTH 89° 37' 15" EAST TAKEN ON THE CENTER LINE OF MOJAVE DR AS SHOWN ON THAT CERTAIN PARCEL MAP NUMBER 2092 FILED FOR RECORD ON AUGUST 13, 1974, IN BOOK 18 OF MAPS AT PAGE 52, OFFICIAL RECORDS OF SAN BERNARDINO COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.
- ADDITIONAL EASEMENTS MAY BE NECESSARY. ANY ADDITIONAL EASEMENT REQUIREMENTS WILL BE DETERMINED AS THE PROJECT EVOLVES.
- EASEMENTS TO BE DEDICATED ON THE PARCEL MAP OR BY SEPARATE INSTRUMENT.
- THERE ARE NO EXISTING COUNTY REGULATED TREES ON SITE.
- THERE ARE NO EXISTING STRUCTURE OUTSIDE, WITHIN 15' OF SUBDIVISION BOUNDARY.
- THERE ARE NO EXISTING WALLS OR FENCES ON THE PROPOSED SUBDIVISION.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A GEOLOGICAL HAZARD ZONE.
- UTILITIES: STORM DRAIN: CITY OF VICTORVILLE CITY OF VICTORVILLE, SEWER DIVISION VICTORVILLE, CA (760) 241-6365 VICTORVILLE WATER DISTRICT SOUTHWEST GAS CORPORATION 8360 S DURANGO DR. LAS VEGAS, NV 89113 (702) 876-7011 SOUTHERN CALIFORNIA EDISON COMPANY HEADQUARTERS: ROSEMEAD, CA 91770 (800) 655-4555 FRONTIER COMMUNICATIONS SERVICES (677) 607-7933 SPECTRUM CABLE AND TELEVISION 27470 W LUGONIA AVENUE, UNIT A2 REDLANDS, CA 92374 (655) 366-7132 WATER SUPPLY: WATER: CITY OF VICTORVILLE, SEWER DIVISION VICTORVILLE, CA (760) 241-6365 VICTORVILLE WATER DISTRICT SOUTHWEST GAS CORPORATION 8360 S DURANGO DR. LAS VEGAS, NV 89113 (702) 876-7011 SOUTHERN CALIFORNIA EDISON COMPANY HEADQUARTERS: ROSEMEAD, CA 91770 (800) 655-4555 FRONTIER COMMUNICATIONS SERVICES (677) 607-7933 SPECTRUM CABLE AND TELEVISION 27470 W LUGONIA AVENUE, UNIT A2 REDLANDS, CA 92374 (655) 366-7132 ELECTRIC: TELEPHONE: CABLE:

## LEGAL DESCRIPTION

PARCEL 1: (3128-621-02-0-000) THE EAST 1/2 OF THE NORTH 1/2 OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 10, TOWNSHIP 5 NORTH, RANGE 5 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, ACCORDING TO GOVERNMENT SURVEY.

PARCEL 2: (3128-621-03-0-000) THE EAST 1/2 OF THE SOUTH 1/2 OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 10, TOWNSHIP 5 NORTH, RANGE 5 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, ACCORDING TO GOVERNMENT SURVEY.

PARCEL 3 OF PARCEL MAP NO. 2092, IN THE CITY OF VICTORVILLE, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER PLAT RECORDED IN BOOK 18 OF PARCEL MAPS, PAGE(S) 52, RECORDS OF SAID COUNTY.

PARCEL 4 OF PARCEL MAP NO. 2092, IN THE CITY OF VICTORVILLE, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER PLAT RECORDED IN BOOK 18 OF PARCEL MAPS, PAGE 52, RECORDS OF SAID COUNTY.

## LEGEND

- CONCRETE CURB
- MAJOR CONTOUR LINE
- MINOR CONTOUR LINE
- EASEMENT LINE
- EDGE OF PAVEMENT
- EDGE OF WATER/FLOWLINE
- LOT LINE
- MONUMENT/MONUMENT LINE
- PROPOSED BOUNDARY LINE
- R/W EASEMENT LINE
- SANITARY SEWER LINE-MANHOLE & CLEANOUT
- SANITARY SEWER LINE OVER 24" DIAMETER
- STORM DRAIN LINE-MANHOLE & CATCH BASIN
- STORM DRAIN LINE OVER 24" DIAMETER
- TELEPHONE LINE
- WATER LINE & VALVE
- WATER LINE OVER 24" DIAMETER
- AREA DRAIN
- ELECTRODERM
- FIRE HYDRANT
- GUY ANCHOR
- HUB & TACK FOUND
- POWER POLE/JOINT POLE
- RAILROAD SPIKE FOUND
- REBAR FOUND
- SURVEY CONTROL POINT
- TRAFFIC SIGN
- UTILITY BOX
- UTILITY LINE MARKER
- WATER VALVE

## ABBREVIATIONS

- ESMT OR (P) PUE RE SD SSMH TV W
- EASEMENT
- OFFICIAL RECORDS
- PER PLAN
- PUBLIC UTILITY EASEMENT
- RIM ELEVATION
- STORM DRAIN
- STORM DRAIN MANHOLE
- SANITARY SEWER
- SANITARY SEWER MANHOLE
- TELEVISION
- WATER

## ZONING SETBACKS

- FRONT/STREET SIDE AND REAR: 10 FEET
- INTERIOR SIDE: NONE REQUIRED
- INTERIOR REAR: NONE REQUIRED, SITE DOES NOT SETBACK FROM A RESIDENTIAL DISTRICT

PREPARED BY OR UNDER THE SUPERVISION OF  
RYAN M. AMAYA P.L.S. 8134  
RAM@KIERWRIGHT.COM  
4/13/2023  
DATE



8955 Research Drive  
Irvine, CA 92618  
Phone: (949) 508-0202  
www.kierwright.com

## TENTATIVE PARCEL MAP NO. 20772 - EXISTING CONDITIONS

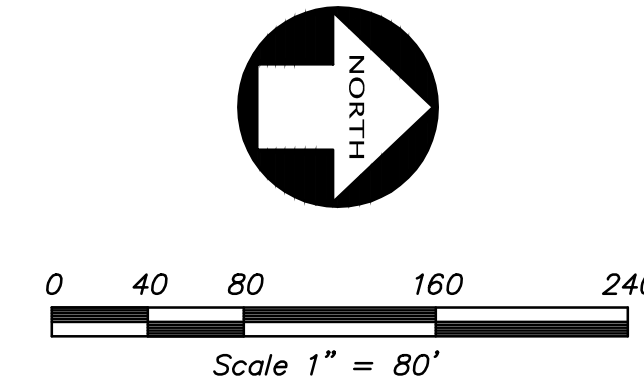
OF  
IPG - VICTORVILLE - MOJAVE 68  
FOR  
INDUSTRIAL PROPERTY GROUP, INC.  
VICTORVILLE, CALIFORNIA

JOB NO.	A22221-1
DRAWN BY	MRF/DFH
SURVEYOR	RA
SCALE	1"=80'
DATE	APRIL, 2023
SHEET	TM-1
1 OF 2 SHEETS	



FND 2" I.P. W/TAG  
"CITY VIC" PER (R5)  
FOR S 1/4 COR. SEC. 10

MESA LINDA AVE  
(68' WIDE PUBLIC R/W)



LEGEND

- CONCRETE CURB
- MAJOR CONTOUR LINE
- MINOR CONTOUR LINE
- EASEMENT LINE
- EDGE OF PAVEMENT
- EDGE OF WATER/FLOWLINE
- LOT LINE
- MONUMENT/MONUMENT LINE
- PROPERTY LINE
- PROPOSED BOUNDARY LINE
- R/W EASEMENT LINE

LOT 1  
70.9341± ACRES GROSS  
64.8242± ACRES NET

PROPOSED COMMERCIAL WAREHOUSE  
BUILDING AREA: 1,057,500 SQ. FT. WAREHOUSE  
& 40,000 SQ. FT. 2 STORY OFFICE SPACE  
BUILDING HEIGHT: 42.00 FEET

FF=3011.20

MOJAVE DR  
(100' WIDE PUBLIC R/W)

CACTUS RD  
(64' WIDE PUBLIC R/W)

ONYX RD  
(64' WIDE PUBLIC R/W)

SECTION A - MOJAVE DRIVE INTERSECTION

NOT TO SCALE

SECTION D - MESA LINDA AVE

NOT TO SCALE

SECTION F - CACTUS ROAD

NOT TO SCALE

SECTION B - MOJAVE DRIVE

NOT TO SCALE

SECTION E - ONYX ROAD

NOT TO SCALE

SECTION G - CACTUS ROAD

NOT TO SCALE

SECTION C - MESA LINDA AVE

NOT TO SCALE

ZONING SETBACKS

FRONT/STREET SIDE AND REAR: 10 FEET  
INTERIOR SIDE: NONE REQUIRED  
INTERIOR REAR: NONE REQUIRED, SITE DOES NOT  
SETBACK FROM A RESIDENTIAL DISTRICT

NO.	REVISION	BY	NO.	REVISION	BY



KIER+WRIGHT

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Irvine, CA 92618

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www.kierwright.com

TENTATIVE PARCEL MAP NO. 20772- PROPOSED CONDITIONS

OF  
IPG - VICTORVILLE - MOJAVE 68  
FOR  
INDUSTRIAL PROPERTY GROUP, INC.

VICTORVILLE,

CALIFORNIA

JOB NO. A22221-1  
DRAWN BY MRF/DFH  
SURVEYOR RA  
SCALE 1"=80'  
DATE APRIL, 2023  
SHEET TM-2  
2 OF 2 SHEETS